



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Ad Valorem Tax Exemption Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, October 12, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at www.stpete.org/meetings.

According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



Case No.: AVT 21-90400002
Request: Review of an Ad Valorem Tax Exemption request for an addition to, and rehabilitation of, the property at 458 Joyce Terrace North, a contributing property to the Round Lake National Register Historic District.
Legal Description: CASHWELL'S 2ND SUB LOT 28
Parcel ID No.: 18-31-17-14202-000-0280
Date of Construction: c.1918
Landmark: Round Lake National Register Historic District
Owners: Maria Herrera Turner and Thomas L. Turner

Overview

The application proposes an Ad Valorem Tax Exemption for historic rehabilitation of a contributing property in a National Register Historic District. Section 16.70.015 and 16.80.010 of the City Code requires the CPPC to act on historic and archaeological matters, including acting as the Land Development Regulation Commission (LDRC) for the purposes of and as required by the Community Planning Act to review and evaluate proposed modifications to the Land Development Regulations related to historic and archaeological preservation, to review and evaluate proposed historic designations, certificates of appropriateness and any other action to be performed pursuant to the Historic and Archaeological Preservation Overlay Section.

Historical Context and Significance

The Frame Vernacular-style structure at 458 Joyce Terrace North were constructed c.1918 initially as a single-family residence. By 1923, the structure had been converted into a duplex with one unit in the front, and one unit in the rear. Over the years, several additions were constructed onto the rear c.1923 addition, as evidenced by the property card and photographs of the rear of the structure. Currently, the rear portion of the building does not have the minimum ceiling height as required by Florida Building Code.

The property was designated as a contributing resource to the Round Lake National Register Historic District. Because of its classification as a contributing structure within the National Register District, a ten-year Ad Valorem Tax Exemption is available for qualifying rehabilitation.

Project Description and Review

Project Description

The AVT application (Appendix A) proposes the rehabilitation of the original portion of the structure and the construction of a rear addition.

The project includes the following qualifying improvements:

- Rehabilitation of the primary structure constructed c.1918
 - This includes the reopening of the front porch and restoration of front porch columns, wood flooring, and ceiling.
 - Installation of new windows and doors to replace non-historic windows and doors. Traditional casings will be installed to be architecturally appropriate.
 - Restoration or architectural features, such as the rafter tails and gable vent.
 - Installation of fiber-cement siding over existing asbestos siding.
- Construction of one-story, rear addition of approximately 1500 SF onto primary structure dating from c.1918

The project includes the following non-qualifying improvements, which are typically not under review for Ad-Valorem Tax Exemption requests:

- Demolition of the extant rear additions and detached garage

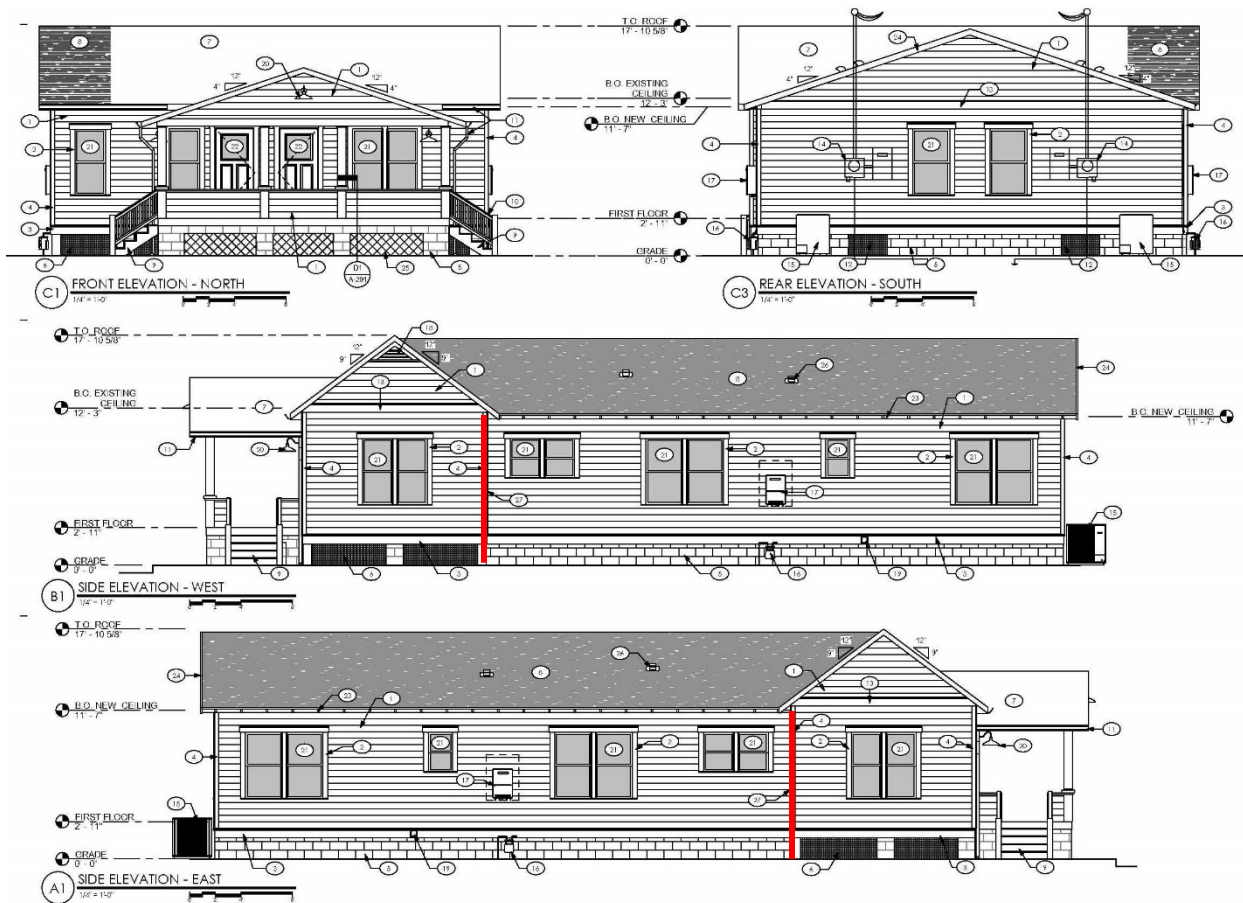


Figure 1: Proposed elevations of rehabilitated duplex with rear addition. Red line denotes separation between the original structure and the new addition.

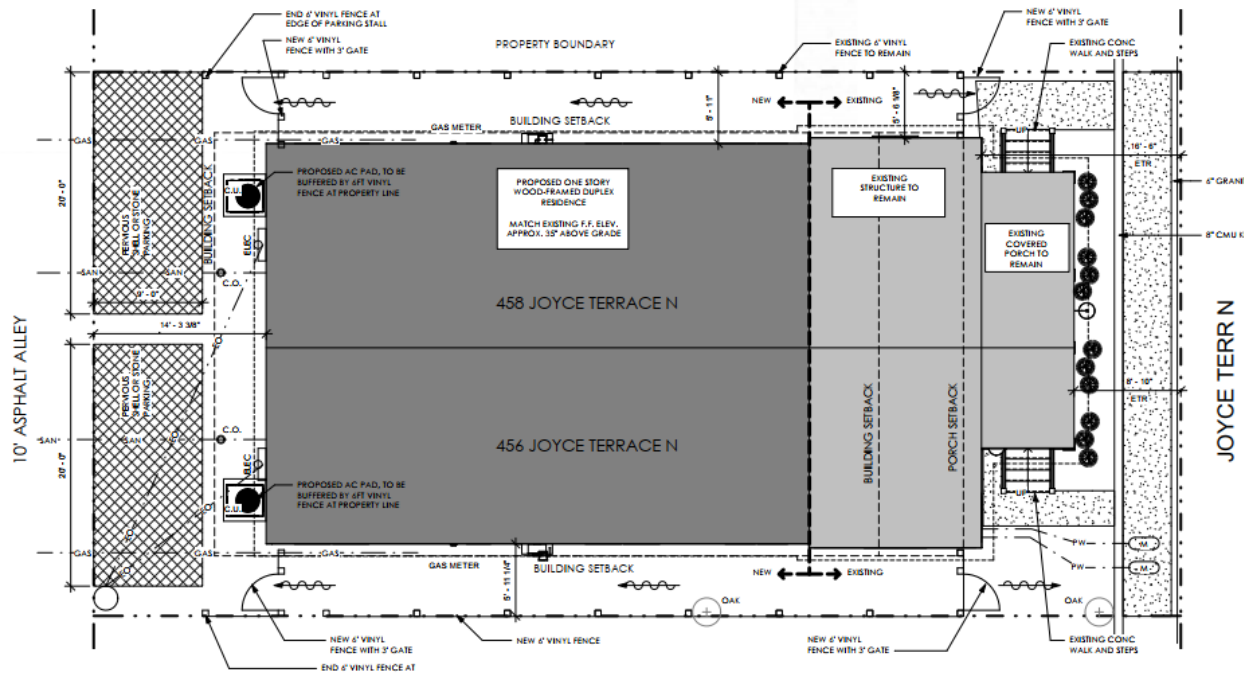


Figure 2: Proposed Site Plan

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Consistent

The proposed project will rehabilitate the original portion of the structure, including the reopening of the front porch, restoration of architectural features, and installation of new doors and windows. The proposed front doors and windows will replicate traditional door and window design for Frame Vernacular-style houses.

The project also will add approximately 1500 SF to the 500 SF historic duplex. The applicant will be removing the rear additions and detached garage structure. These additions were constructed over the 20th century, and the rear additions do not have the proper ceiling height required by Florida Building Code. The garage is not original to the property and was constructed at a later date.

The proposed addition will be one-story with a simple, rectangular form. Both side elevations will be identical, utilizing paired windows that are similar in size to the original structure with traditional spacing. Staff considers the proposed fenestrations in the addition to be part of an appropriate rehabilitation project at this property.



Figure 3: Photograph showing side elevation of addition to be removed. The ceilings do not appear to meet the minimum height required by Florida Building Code.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent

The proposed addition and rehabilitation will be compatible with the other contributing properties in the historic district.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Consistent The project will retain the original portion of the structure while proposing an addition that is compatible with the main structure. The rehabilitation will add new materials and restore features that are more traditional to the structure and the historic district overall. The installation of new fiber-cement siding to cover asbestos shingles and new single-hung vinyl windows to replace non-historic metal windows. While the application includes the introduction of modern materials, the proposed materials have a closer design, style, and texture than the existing non-original materials. No historic materials will be obscured by the introduction of the new siding and windows.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

Not applicable There is no indication that denial of a COA would substantially adversely affect the property owner's use of the subject property.

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent The proposed project appears to be appropriate under this criterion.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Not applicable The property is contributing to the Round Lake National Register Historic District.

Secretary of the Interior's Standards for Rehabilitation

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Consistent The proposed property appears to meet this criterion as it remains in use as a duplex.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Consistent As stated above, the proposal does include the rehabilitation of the original portion of the building. The additions to be demolished do not characterize the property and are substandard.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Consistent The application does not include conjectural features from other structures in the district. The design decisions are based on traditional design found in the Round Lake National Register Historic District.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

Consistent The structure does have additions and a detached garage that were built throughout the 20th century. While most of these additions meet the 50 year-threshold to begin discussing significance, the additions do appear to be of poor construction quality. The low ceiling height of the additions creates a substandard quality of living, and extensive demolition of the roof would be needed to correct. Therefore, staff does not believe these additions and the detached garage have gained historic significance.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Consistent The proposal will preserve the main portion of the contributing structure

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Consistent

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Not applicable No indication that harsh treatment will be used has been given.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

Not applicable The application does not propose ground-disturbing activity.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Consistent The application includes the construction of an addition that will be compatible with the principal structure in terms of massing and scale. The new addition will be larger than the original structure, as the original structure is not even 500

square feet. The addition will incorporate architectural features that are consistent with the original structure and the historic district.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Consistent The proposed addition is attached to the rear and is subordinate to the original portion of the structure, and the addition could be removed without altering the essential form and integrity of the original structure.

Summary of Findings, Ad Valorem Tax Exemption Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria satisfied.
- Secretary of the Interior's Standards for Rehabilitation: 8 of 8 relevant criteria satisfied.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve** the Part 1 – Pre-Construction Ad Valorem Tax Exemption request for the rehabilitation of the property at 458 Joyce Terrace North, a contributing property to the Round Lake National Register Historic District, with the following conditions:

1. All features to be restored will match existing.
2. Windows and doors shall be recessed in the wall plane to create a 2-to-3-inch reveal to reference historic openings.
3. Approval simply acknowledges that this request maintains the historic integrity of the original building and therefore qualifies for an ad valorem tax exemption. CPPC approval does not constitute approval for compliance with all other building and site orientation and design standards required by the zoning category and City Code, Chapter 16, Land Development Regulations.
4. This approval shall remain valid for twenty-four (24) months from the date of the approval, or October 12, 2023. Extension requests are regulated through City Code Section 16.70. A Part 2 (Post-Construction) AVT Exemption application, or a written request for an extension, must be filed prior to the October 12, 2023 expiration date.
5. Upon receipt of a complete Part 2 – Post-construction application, city staff shall be allowed to inspect and document all qualifying improvements. All qualifying improvements must be confirmed to satisfy the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, U.S. Department of the Interior, National Park Service and F.A.C. ch. 1A-38.

Appendix A:

Application Nos. 21-90400002



Property Tax Exemption Preconstruction Application Part I

Instructions: Read the attached instructions carefully before completing this application. Your application cannot be evaluated unless it is complete and all required supporting materials are provided. In the event of any discrepancy between the application for and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

A. General Information (to be completed by all applicants)

1. Property Identification and Location

Property Identification Number (from tax records) 18-31-17-14202-000-0280 (Attach legal description)

Address of property: Street 458 Joyce Terrace North

City St. Petersburg County Pinellas Zip Code 33701

2. Qualifying Property Information:

The property is:

- individually listed on National Register a locally designated historic landmark
 in a National Register district in a locally designated district

3. Type of request:

- Exemption under 196.1997, F.S. (standard exemption)
 Exemption under 196.1998, F.S. (Exemption for properties occupied by non-profit organizations or governmental agencies and regularly open to the public.) See section C on page 2.

4. Owner Information:

Name of individual or organization owning the property Maria Herrera Turner and Thomas Turner

Mailing Address 3850 13th Ave N, Apt 308 #105

City St. Petersburg State Pinellas Zip Code 33713

Daytime Telephone Number 727-623-5312

If the property is in multiple ownership, attach a list of all owners with their mailing addresses.

5. Owner Attestation: I hereby attest that the information I have provided is, to the best of my knowledge correct, and that I own the property described above or that I am the authority in charge of the property. Further, by submission of this application, I agree to allow access to the property by appropriate representatives of the City of St. Petersburg or Pinellas County for the purpose of verifying the information provided in the application. I also understand that, if the requested exemption is granted, I will be required to enter into a covenant with the City of St. Petersburg and Pinellas County in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Maria Herrera-Turner

Name
Thomas Turner

DocuSigned by:
Maria Herrera
932098BF54974D7...

Signature

3/15/2021

Date
3/15/2021

DocuSigned by:
Thomas L. Turner
0723378F0C0C438...

Complete the following if signing for an organization of multiple owners:

Title

Organization Name

Property Tax Exemption Application**Page two****B. Property Use** (To be completed by all applicants)

1. Use(s) before improvement:

Duplex

2. Proposed uses(s):

Duplex**C. Special Exemption** (complete only if applying for exemption under s. 196.1998, F.S., property occupied by non-profit organization or government agency and regularly open to the public)

1. Identify governmental agency or non-profit organization occupying the building or archaeological site.

N/A

2. How often does this organization or agency use the building or archaeological site? _____

3. For buildings, indicate the total usable area of the building in square feet. (for archaeological sites, indicate the total area of the upland component in acres) _____ square feet acres

4. How much area does the organization or agency use? _____ %

5. What percentage of the usable area does the organization or agency use? _____ %

6. Is the property open to the public? Yes No If so, when?7. Are there regular hours? Yes No. If so, what are they?8. Is the property open by appointment? Yes No9. Is the property open ONLY by appointment? Yes No**D. Description of Improvements** (to be completed by all applicants):

Describe in the blocks below, site work, new construction, alterations, etc. Attach photographs and maps.

Feature 1: **General Scope**

Approximate date of feature: 1918 or previous

Description and condition of feature:

Pre-1918 folk vernacular, wood framed structure. Historical research provides evidence that the home could have been constructed as early as 1912 when a number of houses on the Robinson Ct. were constructed.

The structure has seen many alterations and lack of maintenance by previous owners has adversely affected its historical features. Historical evidence also shows the existing building was a duplex as early as 1923. A number of non-historic components/additions have been added to the site throughout the years.

Photo no. 1, 2, 3

Drawing no. ALL

Describe work and impact on existing feature:

The current owner wishes to appropriately restore and rehabilitate the property. Rather than demolish the structure the owner is encouraged to remove the non-historic additions and replace with an addition that meets the height, scale, orientation, and rhythm of the street.

During construction, if unforeseen issues should arise, any alterations to the original plans will follow The Secretary of the Interior's Standards for Rehabilitation. Where the severity of deterioration requires replacement of any historic feature, the new feature will match the old in design, color, texture, and other visual qualities.

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<p>Feature 2: Site/building appropriateness/intensity Approximate date of feature: Description and condition of feature:</p> <p>The existing structure's form consists of a low forward-facing gable covered porch with a steep side-facing gable main structure. The scale of the massing is limited to a one-story structure and matches that of the surrounding neighborhood.</p> <p>Photo no. 1, 2, 3 Drawing no. ALL</p>	<p>Describe work and impact on existing feature:</p> <p>The owner's intent is to create an addition that limits the affects on the surrounding neighbors. By taking advantage of the existing location of the historic building, the design has the ability to maximize it's building potential while minimizing its scale. We have the ability to keep the entire building as a one-story structure while still accommodating the needs of the owner.</p> <p>The new addition matches the existing building in scale and massing. Added fenestration reinforces the character defining elements of the historic building.</p>
<p>Feature 3: Porch columns Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>The front porch columns now hidden by the enclosure of the porch are elements of a period appropriate open front porch.</p> <p>Photo no. 2, 4, 5, 6 Drawing no. C1/A-201</p>	<p>Describe work and impact on existing feature:</p> <p>The intent is to remove the non-historic jalousie windows and doors that currently enclose the porch. Care will be taken to selectively demo the areas around the porch columns to preserve their integrity. Any evidence of wood rot will be replaced with like materials.</p>
<p>Feature 4: Porch knee wall Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>The original porch included a low knee wall with a cap and weep. The existing knee wall has been covered with asbestos siding.</p> <p>Photo no. 2, 4, 5, 6 Drawing no. D1/A-201</p>	<p>Describe work and impact on existing feature:</p> <p>Care will be taken to selectively demo the areas around the knee wall to preserve its integrity. New smooth, fiber cement lap siding will be added to the exterior side of the knee wall, taking care not to disturb the asbestos siding. A new wood cap will be installed as needed. Any evidence of wood rot will be replaced with like materials.</p>

Property Tax Exemption Application

<p>Feature 5: Front porch floor and ceiling Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>Existing porch floor condition is unknown and to be determined by selective demolition. The existing floor is covered with a new laminate floating floor.</p> <p>Existing porch bead board ceiling is present.</p> <p>Photo no. 6, 7 Drawing no. A-101</p>	<p>Describe work and impact on existing feature:</p> <p>Demolition of the laminate floor will expose the condition of the original floor. The intent is to restore the original wood flooring. Should the condition of the floor be beyond repair a similar alternative will be installed. Original porch rusticated block foundation will be cleaned with the gentlest means possible. Neither chemical or physical treatments such as sand blasting, that cause damage to historic materials, shall be used.</p> <p>Restoration of the porch ceiling will include replacement of any rotten wood with similar materials, cleaning and scraping of any chipping/failing paint and refinishing with new paint.</p>
<p>Feature 6: Shed roof demolition and addition Approximate date of feature: 1960 Description and condition of feature:</p> <p>Demolition of the original rear porch and addition of multiple shed roofs occurred at some point in the building's history. The specific dates are unknown due to the lack of City permits. The poor quality of construction has led the interior to be unsuitable for daily living. The existing ceiling height is as low as 6 feet in some areas and does not meet current Code minimum heights.</p> <p>A-001 A-101 A-102</p> <p>Photo no. 3 Drawing no. A-201</p>	<p>Describe work and impact on existing feature:</p> <p>Demolition of the entire shed roof structure is to occur beyond the edge of the side gabled historic structure. A new addition is to be constructed with a rear facing gable and is to be stepped back on either side. The new addition will be subordinate to the historic structure and will include architectural fenestration and materials that replicate that of the original structure.</p>
<p>Feature 7: Garage demolition Approximate date of feature: 1952 Description and condition of feature:</p> <p>The specific date of construction for the garage is unknown due to the lack of any related building permits. The first evidence can be found in the 1952 Sanborn fire map update. The lack of maintenance on the building structure has caused it to fall in disrepair. Evidence of water damage to the roof is present and the existing concrete slab is crumbling beneath the structure.</p> <p>Photo no. 8, 9, 10 Drawing no. A-001</p>	<p>Describe work and impact on existing feature:</p> <p>The garage structure has deteriorated beyond an affordable means of repair. Demolition of the entire garage structure is planned to allow for expanded building potential on the site while reducing the overall impact on the surrounding properties.</p> <p>By allowing demolition of the garage, the owner is able to construct all new additions as one-story, limiting the impact on the adjacent properties. Reference Feature 2 above for more info.</p>

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<p>Feature 8: Exposed Rafter Tails Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>Existing rafter tails with 12" overhangs are evident on the historic side gable structure. Rafters are enclosed on the front porch roof with aluminum soffits.</p> <p>Photo no. 2, 11 Drawing no. D1/A-102</p>	<p>Describe work and impact on existing feature:</p> <p>Existing exposed rafter tails are to remain. Covered rafter tails on porch are to be exposed. All existing exposed rafter tails are to be restored and will include replacement of any rotten wood with similar materials, cleaning and scraping of any chipping/failing paint and refinishing with new paint.</p> <p>Any new construction will include a similar exposed rafter tail detail with 12" overhangs.</p>
<p>Feature 9: Gable Vent Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>Existing gable vent located on West side of historic structure.</p> <p>Photo no. 12 Drawing no. A-201</p>	<p>Describe work and impact on existing feature:</p> <p>Restoration of the existing gable vent will include replacement of any rotten wood with similar materials, cleaning and scraping of any chipping/failing paint and refinishing with new paint.</p>
<p>Feature 10: Lap Siding Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>All existing wood lap siding has been covered with asbestos siding.</p> <p>Photo no. 1, 2, 4, 5, 11, 12 Drawing no. A-201</p>	<p>Describe work and impact on existing feature:</p> <p>Care will be taken not to disturb any asbestos siding during demolition. New smooth fiber cement lap siding is to be installed on the entire structure, including the addition. Additional fenestration will be added in the form of 6" vertical corner boards at building edges and an 8" water table/skirt board at the bottom edge of siding. Additionally an 8" horizontal band and drip cap will be added to the side-facing gable ends to reinforce the horizontal form of the structure on the site.</p>

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<p>Feature 11: Door and Window Casing Approximate date of feature: 1918 or previous Description and condition of feature:</p> <p>Window and door casing details match those commonly found on frame vernacular homes in the area. Little evidence remains of the existing exterior window casing. Interior window casings consist of a number of different designs that represent the different eras and previous alterations.</p> <p style="text-align: right;">C3-4/A-101</p> <p>Photo no. 13, 14 Drawing no. A-C5/A-201</p>	<p>Describe work and impact on existing feature:</p> <p>All new window and door casings will match period appropriate design with wide casings, upper drip edge and lower protruding sill. New windows and doors will be recessed in the wall plane a minimum of 2 inches.</p>
<p>Feature 12: Doors and Windows Approximate date of feature: Description and condition of feature:</p> <p>No original windows or doors remain in the building. Existing windows are a combination of jalousie, aluminum and vinyl replacements. Existing doors are aluminum or hollow core luaun.</p> <p style="text-align: right;">A-101</p> <p>Photo no. 12, 13, 14 Drawing no. A-101</p>	<p>Describe work and impact on existing feature:</p> <p>New doors will consist of a 3-panel entry with glass lite and interior doors will be solid core 3-panel.</p> <p>New windows will be vinyl single hung with a 1 over 1 simple design. Windows and exterior doors will be recessed in the wall plane a minimum of 2 inches. Care will be taken to orient the windows in a manner that is historically appropriate to early 20th century homes.</p>
<p>Feature 13: Approximate date of feature: Description and condition of feature:</p> <p>Photo no. Drawing no.</p>	<p>Describe work and impact on existing feature:</p>

Preconstruction Application Review
(For Local Historic Preservation Office use only)

Property Identification Number _____

Property Address _____

The Local Historic Preservation Office has reviewed Part 1 (Preconstruction Application) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property **qualifies** as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies the above referenced property **does not qualify** for the special exemption provided under s. 196.1998, (11) F.S.
- Certified that the above referenced property **qualifies** for the special exemption provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- Certified that the above referenced property **does not qualify** for the special exemption provided under s.196.198, F.S.
- Determined that improvements to the above referenced property **are consistent** with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitation
- Determines that improvements to the above referenced property **are not consistent** with the Secretary of the Interior’s Standards for Rehabilitation and guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria is identified in the Review Comments. Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.

Review Comments:

Additional review comments attached? Yes No

Signature _____

Typed or printed name _____

Title _____

Date _____

This section provides information to applicants on how to complete Section D “Description of Improvements.” In addition to detailing technical aspects of filling-out the form, these instructions discuss special rehabilitation concerns and provide a copy of the Secretary of Interior’s Standards for Rehabilitation.

Description of Improvements

All owners of historic properties must complete “Section D of the Preconstruction Application, Description of Improvements” for the requested improvements to be found consistent with the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The “Description of Improvements” will be used to describe existing conditions, proposed improvements, and the impact of these improvements on existing materials and features, and the overall historic character of the property.

Application Review: All projects are reviewed and evaluated for conformance with the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, the most recent version of which has been attached to these directions. The underlying concern expressed in the Standards is the preservation of significant historic materials and features of a building or archaeological site in the process of restoration, rehabilitation or renovation. For buildings, the Standards apply with equal force to both interior and exterior work, and the Local Historic Preservation Office will review the entire improvement project (including any attached, adjacent or related new construction). Proposed work that does not appear to be consistent with the Standards will be identified, and advice will be given to assist property owners, architects, or builders in bringing their project into conformance.

Completing the Description of Improvements

Data on building or archaeological site and improvement project: Indicate the type of construction of the existing building (e.g., masonry bearing wall, wood frame, steel frame, concrete). Give the use(s) of the building before improvement (e.g., school/vacant); and the proposed use after. For archaeological sites, indicate the age of the site, its original function, and its current and proposed future use.

Detailed description of improvement work: In the numbered blocks, provide a description of project work. Describe the entire project. For buildings, begin by describing site work, followed by work on the exterior, including new construction, and finally work on the interior, as applicable. A separate block should be used to describe each major work item and its effect on architectural or archaeological features (see examples below).

In the left block, identify the feature requiring work and indicate whether it is original to the building or site, was added at a later date, or is new construction. Give the approximate date of the feature. In the appropriate space describe the physical condition of the feature. Indicate the photograph or drawing that shows the feature.

In the right block, explain in detail the restoration, renovation or rehabilitation work to be undertaken. Describe the effect (visual, structural, or other) on existing features. Use drawings, marked up photographs, or specification page numbers that show the improvement work and its impact on the existing building or archaeological site.

Instructions for Completing Section D - Description of Improvements**Page two****Photographs**

For historic buildings: For the Preconstruction Application, the applicant must submit with the application a sufficient number of good, clear photographs to document both interior and exterior conditions of the historic building, including site and environment prior to any work, and to show the areas of proposed work. Polaroid photographs are not acceptable. Such documentation is necessary for evaluation of the effect of the improvements on the historic structure. Where such documentation is not provided, staff cannot complete the review and evaluation. This may result in a recommendation for denial of the exemption request. All exterior elevations, as well as principal interior features and spaces should be shown.

For archaeological sites: Photographs should show all principal features of the site, with detailed photographs showing the features to be affected by the planned improvements.

All photographs should be numbered, dated and labeled with the property name, the view (e.g., east side) and a brief description of what is shown; photographs should be keyed to the narrative in the Description of Improvements section. In many cases, it may be helpful to mark directly on the photographs to show the areas of proposed work. Photographs may be black- and white or color, but must show features clearly. Photographs are not returnable.

Drawings or sketches

Drawings or sketches are required for proposed work to show planned alterations or new construction. They must be sufficiently detailed to show existing conditions (i.e., wall configurations) and anticipated changes. Documentation should include site plans, floor plans and, where necessary, sections and elevations. All drawings and sketches submitted with the Preconstruction Application should be numbered and should be keyed to the narrative in the Description of Improvements section.

Examples (Buildings)

<p>Feature 1: facade brick Approximate date of feature: ca. 1880 Description and condition of feature: Hard pressed red brick with butter joints in good condition. Mortar mostly sound, but deteriorated and missing around downspout at east end of facade. Some graffiti at first floor</p> <p>Photo no. 3, 6 Drawing no. N/A</p>	<p>Describe work and impact on existing feature:</p> <p>Will selectively hand clean deteriorated joints and repoint with mortar and joint width to match existing (see spec. pp. 33-35); chemically clean graffiti from first floor piers (see spec. pp. 30-31).</p>
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Special Rehabilitation Concerns

Several areas of special concern have been identified in reviewing and evaluating preservation projects. Owners should address these concerns when undertaking work in any of the areas described below.

Storefront alterations: Justify changes to storefronts and provide photographs of the areas to be altered. Applicant should provide information on the construction date of existing storefront, its existing physical conditions, and evidence on what proposed new storefront designs are based. Owners should not introduce a new design element on the ground floor that alters the character of the structure, its relationship with the street or causes destruction of significant historic material.

New heating, ventilating, and air-conditioning (HVAC) systems: Indicate what effect the new equipment and duct work will have on historic building materials and features. If the HVAC system requires removal of windows or portions of wall, describe alternative systems considered in the design process and why the proposed system was chosen. Installation of systems that cause damage to historic building material, or features, or cause visual loss of character may result in a recommendation for denial of exemption.

New Windows: Indicate the condition of existing windows (sash, glazing, muntins, etc.) and the reasons for replacement. Photographs and a window survey must be provided as evidence of severe deterioration; provide data on the cost of repairing existing windows versus installing replacements. Owners are strongly encouraged to retain and repair historic windows in character. The use of tinted glass often causes a change in character and may result in a recommendation for denial of the exemption. Where replacement of existing windows appears justified by supporting documentation and where the windows are an integral part of the buildings design and character, replacement sash should match the original material size, pane configuration, color, trim details, and planar and reflective qualities.

Interior partitions and removing interior plaster: Indicate existing condition of the interior and document with photographs. Show which walls are to be removed or altered. Note whether trim elements and plaster will be affected. Owners are strongly discouraged from changing floor plans unnecessarily and from exposing masonry surfaces unless this condition is supported by historical evidence.

Exterior masonry cleaning: Owners are strongly encouraged to clean masonry only when necessary to halt deterioration or to remove stains. Indicate the condition of each material to be cleaned. Specify what the cleaning is intended to accomplish (soot removal, paint removal, etc.) and what process will be used on each masonry element. Provide supporting material to show that the method selected is the gentlest means possible for this project. Summarize results of test patches, and include close-up color photographs of masonry surface before and after cleaning as evidence. Chemical or physical treatments, such as sandblasting, that damage historic materials shall not be used.

Exterior masonry repair: Indicate deteriorated areas that require repair and provide evidence that repainting mortar will match the original in composition (i.e., ratio of lime, cement, sand and any additives), color, texture, and tooling. Owners are encouraged to repoint only those portions of the masonry that require repair.

New additions and new construction: New exterior additions may alter the appearance and form of historic structures, and may cause recommendation for denial of the exemption. Similarly, new construction, including site work, may affect the relationship of a structure to its site, change the historic landscape, or otherwise damage the historic character of the property.

The Secretary of the Interior's Standards for Rehabilitation

"Rehabilitation " as used herein is defined as the process of returning a property to a state of utility, through repair or alteration, which possible an efficient contemporary use while preserving those features of the property which are significant to its historic, architectural and cultural values.

Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2: The historic character of a building shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3: Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings shall not be undertaken.

Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize, a historic property shall be retained and preserved.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features, shall be substantiated by documentary, physical or pictorial evidence.

Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historical materials shall not be used. The surface cleaning of a structure, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8: Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize a property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

ALTERATIONS TO

458 & 456 JOYCE TER N

ST. PETERSBURG, FLORIDA

CONSTRUCTION DOCUMENTS



GENERAL NOTES

- THE CONTRACT DOCUMENTS FOR THE JOYCE TER DUPLEX BUILDING INCLUDE THE CONTRACT GENERAL CONDITIONS, SPECIFICATIONS, DRAWINGS, ADDENDA AND CONTRACT MODIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS TO EACH SUBCONTRACTOR & TRADE, AS WELL AS FOR INSURING THAT THE WORK OF EACH SUBCONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUBCONTRACTORS.
- BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED, THE CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY DISCREPANCIES WHICH MAY OCCUR PRIOR TO COMMENCING ANY CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND RESTRICTIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION.
- TRADE, PRODUCT, OR MANUFACTURER'S NAMES OR CATALOG NUMBERS SHOWN ON THE DRAWINGS FOR NEW PRODUCTS ARE TO ESTABLISH QUALITY REQUIRED, IN EACH CASE ADD BY INFERENCE, AFTER TRADE, PRODUCT OR MANUFACTURER'S NAME, THE PHRASE "OR, AS APPROVED BY ARCHITECT."
- DETERMINE THE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM.
- ACTUAL LOCATIONS OF LIGHT FIXTURES, PLUMBING FIXTURES, ETC., ARE TO BE AS INDICATED ON ARCHITECTURAL DRAWINGS. ANY CONFLICTS WITH DRAWINGS ARE TO BE RESOLVED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
- THE LAST DATED REVISION VOIDS AND SUPERSEDES ANY AND ALL PREVIOUS DRAWINGS WITH THE SAME DRAWING NUMBER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DELIVER THE REVISED DRAWINGS TO ALL SUBCONTRACTORS AND SUPPLIERS WITH CLEAR INSTRUCTIONS NOT TO UTILIZE PRECEDING DRAWINGS. ALL COSTS RESULTING FROM A FAILURE TO ISSUE REVISED DRAWINGS IN A TIMELY MANNER SHALL BE ABSORBED BY THE CONTRACTOR. THE OWNER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE ABOVE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL KNOWN EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. ALL FINAL CONNECTIONS FROM THE BUILDING TO EXISTING UTILITIES SHALL BE BY THIS CONTRACTOR.
- THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTION FOR THE SAFETY OF PERSONS AND PROPERTY IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT AS REQUIRED BY GENERAL CONDITIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE BETWEEN MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL, AND ARCHITECTURAL DRAWINGS IN ORDER TO VERIFY ALL SLAB, WALL AND ROOF PENETRATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE ALL QUESTIONS PRIOR TO BEGINNING THE WORK. COMMENCEMENT OF WORK SIGNIFIES CONTRACTOR WARRANTS ALL PENETRATIONS ARE CORRECTLY LOCATED AND THAT THE COST OF ANY CORRECTIONS, IF NECESSARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AS REQUIRED BY GENERAL CONDITIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAYS WITHOUT FIRST OBTAINING PROPER PERMITS.
- ALL FIRE RATED CONSTRUCTION SHALL CONFORM WITH UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS AS WELL AS THESE CONTRACT DOCUMENTS.
- CONTRACTOR TO PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY LOCAL FIRE MARSHALL. (SEE LIFE SAFETY PLANS FOR LOCATIONS)
- CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT.

INDEX OF DRAWINGS

SHEET #	SHEET COUNT	SHEET NAME
G-001	1	COVER SHEET
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A-001	3	SITE PLAN
A-002	4	EXISTING/DEMO PLANS
S1.0	5	STRUCTURAL NOTES
S2.0	6	FOUNDATION AND FLOOR FRAMING PLAN
S3.0	7	FLOOR PLAN AND ROOF FRAMING
S4.0	8	SECTIONS AND DETAILS
A-101	9	FLOOR PLANS
A-102	10	ROOF PLAN
A-201	11	BUILDING ELEVATIONS
A-301	12	SECTIONS & DETAILS
A-401	13	ENLARGED PLANS - KITCHEN
A-402	14	ENLARGED PLANS - BATHROOMS
A-500		NOT USED
A-601	15	MEP PLAN

DEVELOPMENT TEAM

OWNER

MARIA HERRERA TURNER
3850 13th Ave N, Apt 306
St. Petersburg, FL 33713
727-623-5312

ARCHITECT

BOONE ARCHITECTURAL RESTORATION LLC
2624 BURLINGTON AVE N
ST. PETERSBURG, FLORIDA 33713
P: 727.314.2724
AA26003970

ALEXANDER B. SMITH, NCARB
boonearch@gmail.com

STRUCTURAL ENGINEER

GULF COAST ENGINEERING & DESIGN
1705 6th Street
Sarasota, FL 34236
Office: (941) 216-6101

Jesse Bzura, PE
jesse@gulfcoastengineers.com

GENERAL CONTRACTOR

AMERICAN CUSTOM BUILDERS & ROOFING LLC
15820 Redington Drive
Redington Beach FL 33708
(727) 480-0708
CCC1527520 & CGC1513060

Frederick J. Dion
fdion@yahoo.com

GENERAL SITE DATA

PROPERTY DATA:

PROPERTY IDENTIFICATION: CASHWELL'S 2ND SUB LOT 28
PROPERTY STREET ADDRESS: 458 & 456 JOYCE TERR N
ST. PETERSBURG FL 33701
18-31-17-14202-000-0280

PARCEL ID:
ZONING DISTRICT: NT-2
PROPOSED USE: DUPLEX

DEVELOPMENT POTENTIAL:

MINIMUM LOT AREA: 5,800 SQ. FT.
LAND AREA OF PARCEL: 4,050 SQ. FT.
MAXIMUM FLOOR AREA RATIO (FAR) = .60 (WITH BONUS)
ACTUAL FAR = .53
MAXIMUM IMPERVIOUS SURFACE = 0.65
ACTUAL ISR = 0.61

BUILDING ENVELOPE:

BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT: 24' BEG. OF ROOF, 36' PEAK
ACTUAL BUILDING HEIGHT: 11'-4" BEG. OF ROOF, 17'-11" PEAK
BUILDING SETBACKS: MINIMUM BUILDING SETBACKS
FRONT YARD: 18'-0" OPEN PORCH
25'-0" BUILDING
5'-0"
INTERIOR SIDE YARD: 5'-0"
REAR YARD WITH 10' ALLEY: 10'-0"

FLORIDA APPROVED PRODUCTS LIST

THE INTENT OF THIS PRODUCT APPROVAL LIST IS AS A BASIS OF DESIGN. ALL PRODUCTS SPECIFIED BY THE ARCHITECT HAVE APPROVAL FROM THE STATE OF FLORIDA. ANY SUBSTITUTIONS MADE BY THE CONTRACTOR SHALL ALSO HAVE FLORIDA PRODUCT APPROVAL AND MEET OR EXCEED THE PERFORMANCE AND QUALITY OF PRODUCTS SPECIFIED BY THE ARCHITECT.

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL NUMBER
DOORS	EXTERIOR SWINGING DOOR ASSEMBLIES	PLASTPRO INC.	FL 17347.7
WINDOWS	SINGLE HUNG	PGT INDUSTRIES	FL 29698.1
ROOFING	ASPHALT SHINGLES	OWENS CORNING	FL 10674.1
ROOFING	UNDERLAYMENT	OWENS CORNING	FL 15216.1
ROOFING	ROOFING ACCESSORIES THAT ARE AN INTEGRAL PART OF THE SYSTEM	FL METAL PRODUCTS INC.	FL 21580.1
PANEL WALLS	SIDING	JAMES HARDIE	FL 32103.1
STRUCTURAL COMPONENTS	WOOD CONNECTORS	SIMPSON STRONG-TIE CO.	FL 10456

PROJECT LOCATION



LOCATION MAP
NORTH
NTS

BUILDING CODE INFORMATION

PROJECT DATA

GROSS FLOOR AREA: 2,144 S.F.

BUILDING BASE FLOOR ELEVATION: ZONE X - EXISTING TO REMAIN
FEMA FIRM MAP 12103C0217G
EFFECTIVE 9/3/2003

BUILDING CODE INFORMATION:
2020 FLORIDA BUILDING CODE - RESIDENTIAL - 7TH EDITION

USE AND OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3
DWELLING - MULTI, FAMILY 2 UNITS
DUPLEX - GRANDFATHERED STATUS SEE APPROVAL LETTER 19-52000015

TYPE OF CONSTRUCTION V-B

PARKING REQUIREMENTS

MORE THAN 750 SQUARE FEET: 0.75 PER UNIT UP TO 2 BEDROOMS, PLUS 0.5 FOR EACH ADDITIONAL BEDROOM
0.75 + 0.75 = 1.5 SPACES REQUIRED
2 SPACES PROVIDED



2624 Burlington Ave N
St. Petersburg, FL 33713
ph 727.314.2724

AA26003970

Alexander B. Smith, NCARB

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CONSULTANT:

CLIENT / PROJECT NAME:

ALTERATIONS TO

458/456 JOYCE TER N

458 JOYCE TERR N
ST. PETERSBURG, FL 33701

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

COVER SHEET

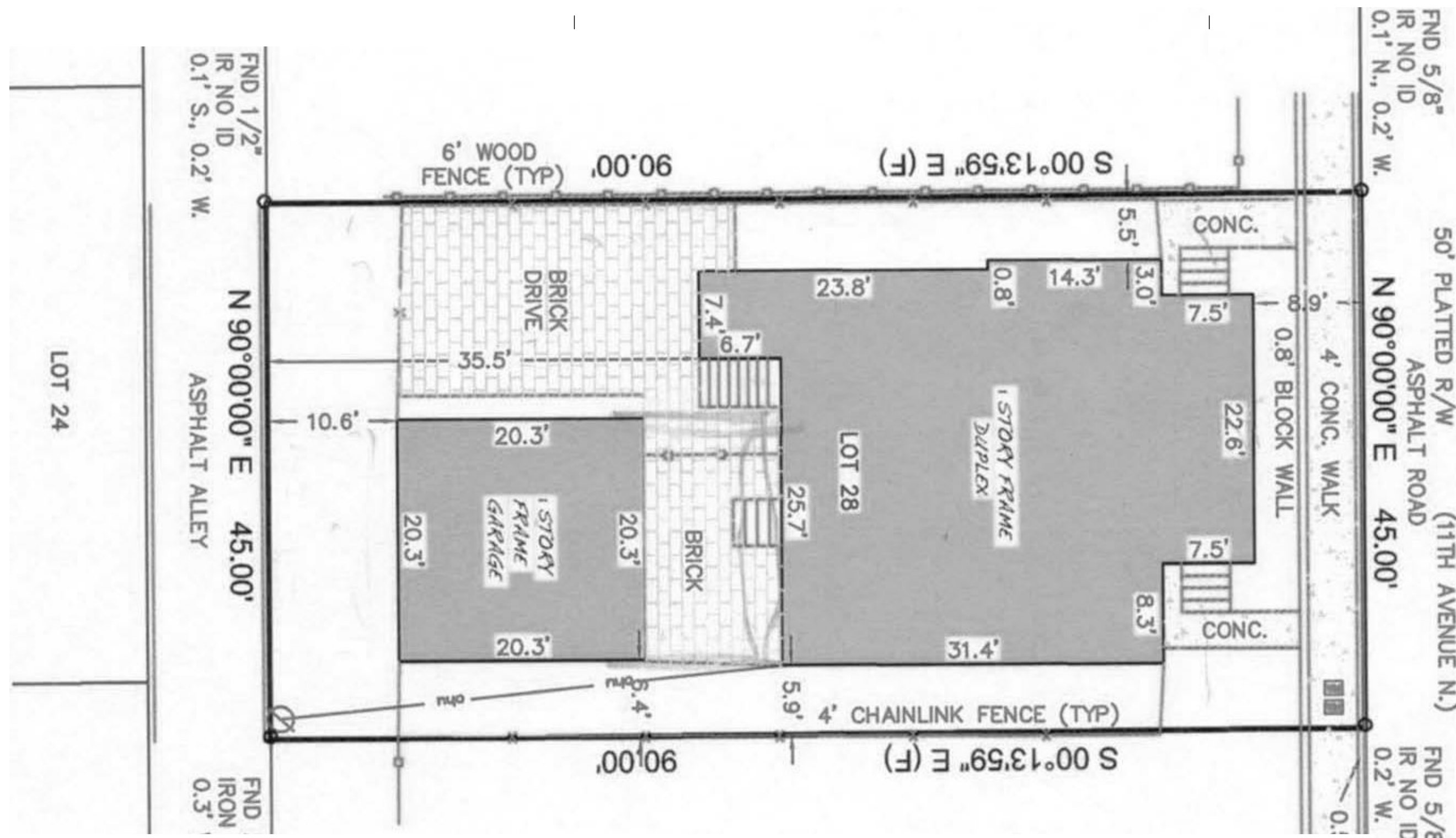
REVISIONS:

DATE ISSUED: 02/04/2021
PROJECT NO.: A20.0002

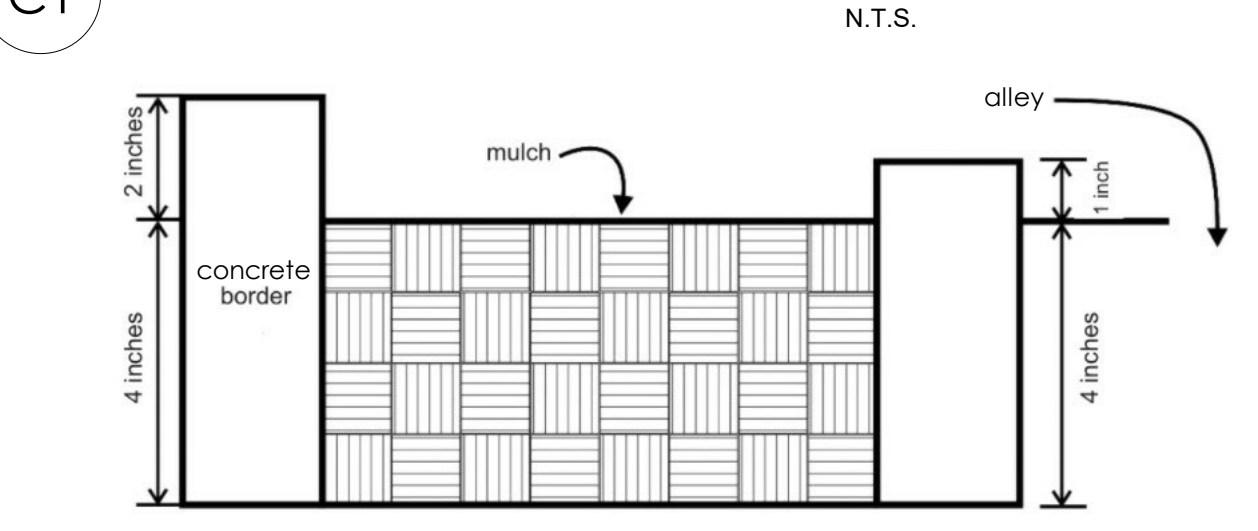
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G-001

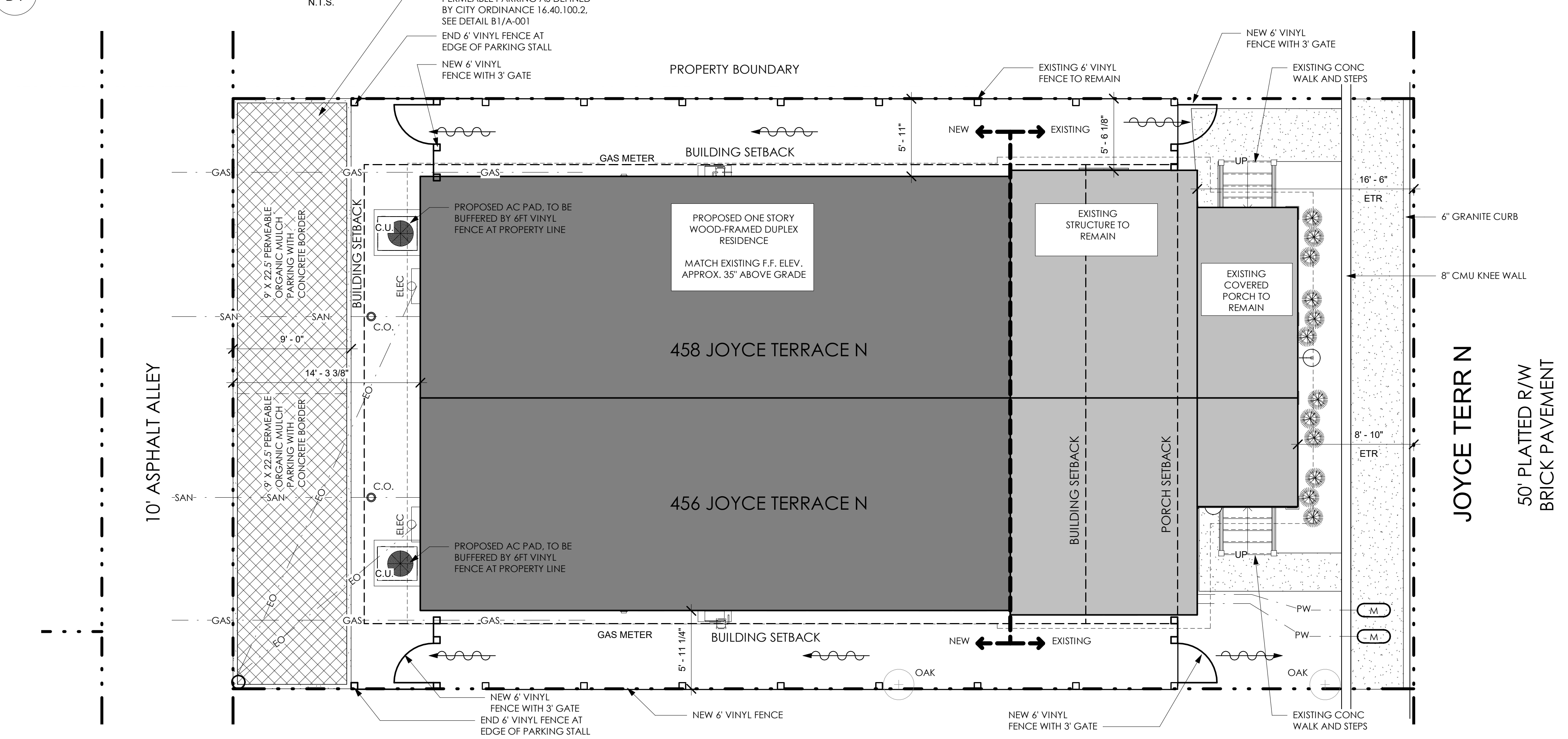
SHEET: 1 OF 15



C1 EXISTING SURVEY



B1 MULCH PARKING PAD DETAIL



SITE PLAN

GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERROR, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE CONDITIONS AND INSPECTION REQUIREMENTS OF ALL PERMITS ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SHALL SCHEDULE ALL INSPECTIONS IN ACCORDANCE WITH AGENCY REQUIREMENTS.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING THE WORK AND SHALL COMPLY WITH ALL STATE, COUNTY, AND LOCAL ORDINANCES AND OBTAIN ANY NECESSARY WORK PERMITS THAT MAY BE REQUIRED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH SUBCONTRACTORS AND OTHER PUBLIC OR PRIVATE UTILITIES CONSTRUCTING FACILITIES WITHIN THE PROJECT LIMITS. UTILITIES ARE TO BE ADJUSTED BY UTILITY OWNERS.
5. THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES IN ORDER TO PERMIT THE RELOCATION OF EXISTING UNDERGROUND UTILITIES NOTIFICATION CENTER AT 811.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXISTING DRAINAGE SYSTEM WITHIN THE LIMITS OF THE PROJECT AREA FOR THE DURATION OF THE PROJECT.
7. UNLESS OTHERWISE SPECIFIED IN THE PLANS, EXISTING SOD, FENCES, CONCRETE SIDEWALKS, ETC. DISTURBED BY CONSTRUCTIONS SHALL BE REPLACED IN KIND (OR BETTER, AS APPROVED BY THE ARCHITECT).
8. NO DEBRIS OF ANY KIND SHALL BE LEFT IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FOLLOW ALL STANDARDS, REFUTATIONS, LAWS AND SPECIFICATIONS REGARDING THE DISPOSAL OF ALL CONSTRUCTION DEBRIS.
9. THE CONTRACTOR ENDEAVOR TO PROTECT PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR IN THE PERFORMANCE OF THE WORK SHALL BE CORRECTED TO THE SATISFACTION OF THE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL MAINTAIN THE PROJECT ACCESS POINTS AND APPROACHES SUFFICIENT TO PROVIDE SAFE INGRESS AND EGRESS WITH CLEARLY MARKED DIRECTIONAL INFORMATION AND WARNING SIGNS.
11. THE ENTIRE BUILDING WILL BE INCLUDING WITHIN THE CONSTRUCTION AREA AND CLOSED TO THE PUBLIC FOR THE ENTIRE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ANY TEMPORARY EQUIPMENT, MARSHALLING YARD, TRAILER, ETC. WITH THE OWNER AND ARCHITECT. BARRICADES SHALL BE PROVIDED AS NECESSARY TO KEEP THE PUBLIC OUT OF THE CONSTRUCTION AREA.
12. PRIOR TO THE BEGINNING ANY WORK, A PRE-CONSTRUCTION MEETING SHALL OCCUR INVOLVING THE CONTRACTOR, ARCHITECT AND OWNER.

AREA CALCULATIONS

LOT S.F. = 4,050
 HOUSE S.F. = 1,976
 COVERED PORCH S.F. = 175
 STEPS, WALKS, AC PAD = 143
 PARKING BORDER = 36
 TOTAL S.F. = 2,330

PROPERTY CONTAINS 4,050 SQUARE FEET, MORE OR LESS. PROPOSED IMPERVIOUS AREA CONTAINS 2,330 SQUARE FEET, MORE OR LESS. PROPOSED IMPERVIOUS IS 58% OF SURVEYED PROPERTY.

SITE PLAN NOTES

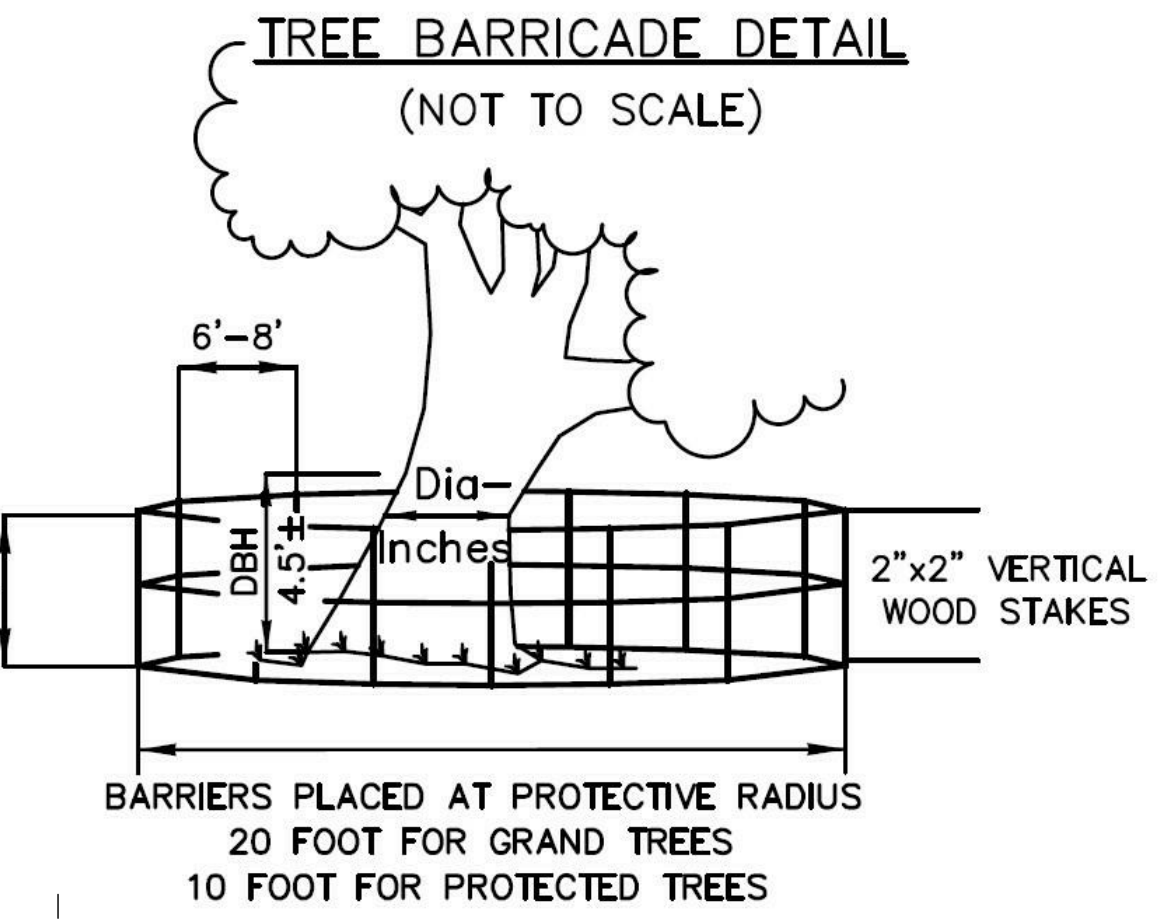
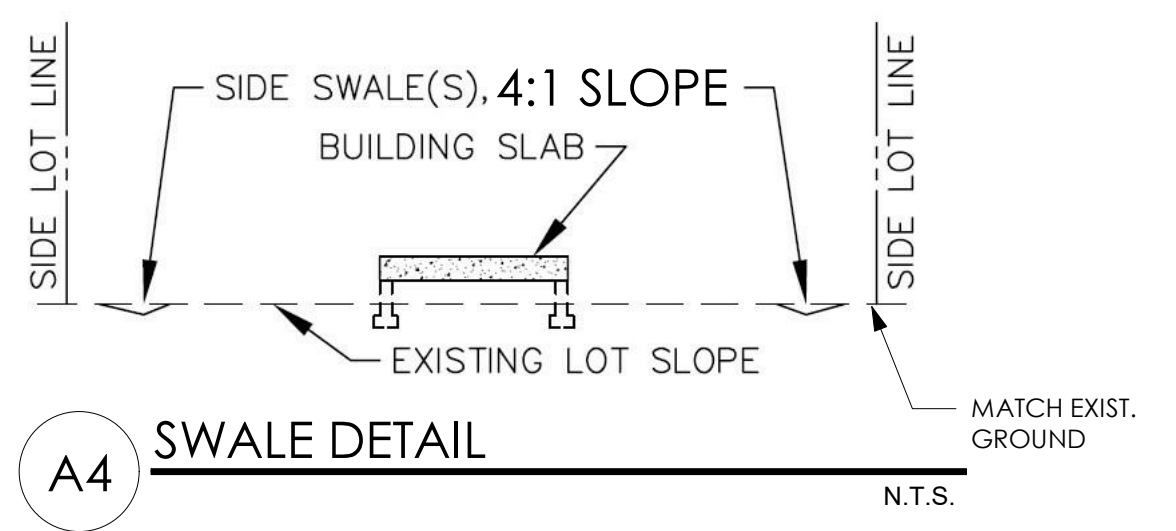
1. THIS SITE PLAN IS PROVIDED FOR REFERENCE AND COORDINATION OF ARCHITECTURAL SITE ELEMENTS.
2. VERIFY ALL VERTICAL ELEVATIONS TO BENCHMARK SHOWN ON SURVEY PRIOR TO CONSTRUCTION.
3. VERIFY ALL FIELD CONDITIONS & BELOW GRADE OBSTRUCTIONS PRIOR TO COMMENCING WORK. STARTING CONSTRUCTION MEANS SITE CONTRACTOR UNDERSTANDS & ACCEPTS ALL EXISTING BELOW GRADE OBSTRUCTIONS. DAMAGE TO ANY BELOW GRADE INFRASTRUCTURE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
4. ALL MECHANICAL EQUIPMENT SUCH AS A/C UNITS, HEAT PUMPS, POOL PUMPS, FILTERS AND THE LIKE WILL BE SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS. SCREENING CAN BE FENCING OR LANDSCAPING.
5. THE LOT GRADING WILL ENSURE DRAINAGE IN A MANNER NOT TO AFFECT ADJACENT PROPERTIES.

LANDSCAPING NOTES

1. ALL REQUIRED SHADE OR CERTAIN PALMS TREES TO BE ADDED SHALL COMPLY WITH THE CITY OF ST. PETERSBURG LAND DEVELOPMENT CODE 16.40.060.
2. EXISTING OAK SHADE TREES TO REMAIN ON-SITE.
3. A MIN. OF 10 SCHRUBS, ACCENT PLANTS OR ORNAMENTAL GRASSES A MIN. OF 18" IN HEIGHT, SHALL BE LOCATED IN THE FRONT YARD. ACCENT PLANTS AND ORNAMENTAL GRASSES SHALL BE A MINIMUM OF ONE GALLON NURSERY SPECIFICATION. PLANTS SHALL BE RATED FLORIDA GRADE NO. 1 AND BE SELECTED FROM THE FOLLOWING LIST:
 - A. COCOPLUM, FIREBUSH
 - B. AMERICAN BEAUTYBERRY, COONIE, WILD COFFEE, THYRALLIS
 - C. FAKAHATCHEE GRASS, GULF MUHLY GRASS, SAND CORDGRASS
4. ALL PERMEABLE SITE SURFACES NOT SPECIFICALLY NOTED SHALL BE MAINTAINED WITH AN HERBACEOUS LAYER OF SOD OR GROUND COVER. INSTALLATION OF ST. AUGUSTINE SOD TURF SHALL NOT BE ALLOWED. ACCORDING TO 16.40.060.2.1.2 E. IRRIGATION - EXISTING ONE- AND TWO-UNIT RESIDENTIAL PROPERTIES. A PERMANENT IRRIGATION SYSTEM IS NOT REQUIRED FOR EXISTING ONE- AND TWO-UNIT RESIDENTIAL PROPERTIES.

SITE LEGEND

---	PROPERTY LINE
[Pattern]	NEW CONCRETE SIDEWALK
[Pattern]	NEW ASPHALT PAVING
[Symbol]	EXISTING GRADE
[Symbol]	NEW GRADE
[Symbol]	ELECTRICAL NEW TRANSFORMER
[Symbol]	ELECTRICAL OVERHEAD SERVICE LINE
[Symbol]	NEW RECLAIMED WATER SERVICE PIPING
[Symbol]	NEW SURFACE MOUNTED ELECTRICAL METER
[Symbol]	NEW LIGHT POLE WITH FIXTURE
[Symbol]	NEW BOLLARD/PATHWAY LIGHTING
[Symbol]	POTABLE WATER METER
[Symbol]	NEW POTABLE WATER SUPPLY PIPING
[Symbol]	NEW SANITARY LINE PIPING
[Symbol]	NEW STORM SEWER LINE PIPING
[Symbol]	NEW GAS LINE PIPING
[Symbol]	CLEAN OUT
[Symbol]	NEW CABLE T.V. SERVICE LINE (OVERHEAD)
[Symbol]	NEW CABLE T.V. SERVICE LINE (UNDERGROUND)
[Symbol]	EXISTING TREE
[Symbol]	NEW TREE (SEE PLANTING SCHEDULE)
[Symbol]	NEW SHRUB/BUSHES (SEE PLANTING SCHEDULE)
[Symbol]	LANDSCAPE AREA/BERM/GROUND COVER



BOONE
 ARCHITECTURAL
 RESTORATION

2624 Burlington Ave N
 St. Petersburg, FL 33713
 ph 727.314.2724

AA26003970

Alexander B. Smith, NCARB

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CONSULTANT:

CLIENT / PROJECT NAME:

ALTERATIONS TO

458/456 JOYCE TER N

458 JOYCE TERR N
 ST. PETERSBURG, FL 33701

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

SITE PLAN

REVISIONS:

DATE ISSUED: 03/10/2021
 PROJECT NO.: A20.0002

DRAWING NUMBER:

A-001 SHEET: 3 OF 15

WINDOW SCHEDULE

TYPE MARK & COUNT	SIZE		TYPE	MANUFACTURER	MODEL	MATERIAL	FINISH	GLAZING TYPE	HEAD HEIGHT	NOTES
	WIDTH	HEIGHT								
1	2'-6"	5'-3"	Single Hung	PGT	SH5500	VINYL		LOW-E, INSULATED	7'-0"	IMPACT RATED
8	2	2'-6"	3'-2"	Single Hung	PGT	SH5500	VINYL	LOW-E, INSULATED	7'-0"	IMPACT RATED
4	3	3'-0"	5'-3"	Single Hung	PGT	SH5500	VINYL	LOW-E, INSULATED	7'-0"	IMPACT RATED, EGRESS OPENING
10	4	2'-0"	3'-2"	Single Hung	PGT	SH5500	VINYL	LOW-E, INSULATED	7'-0"	IMPACT RATED

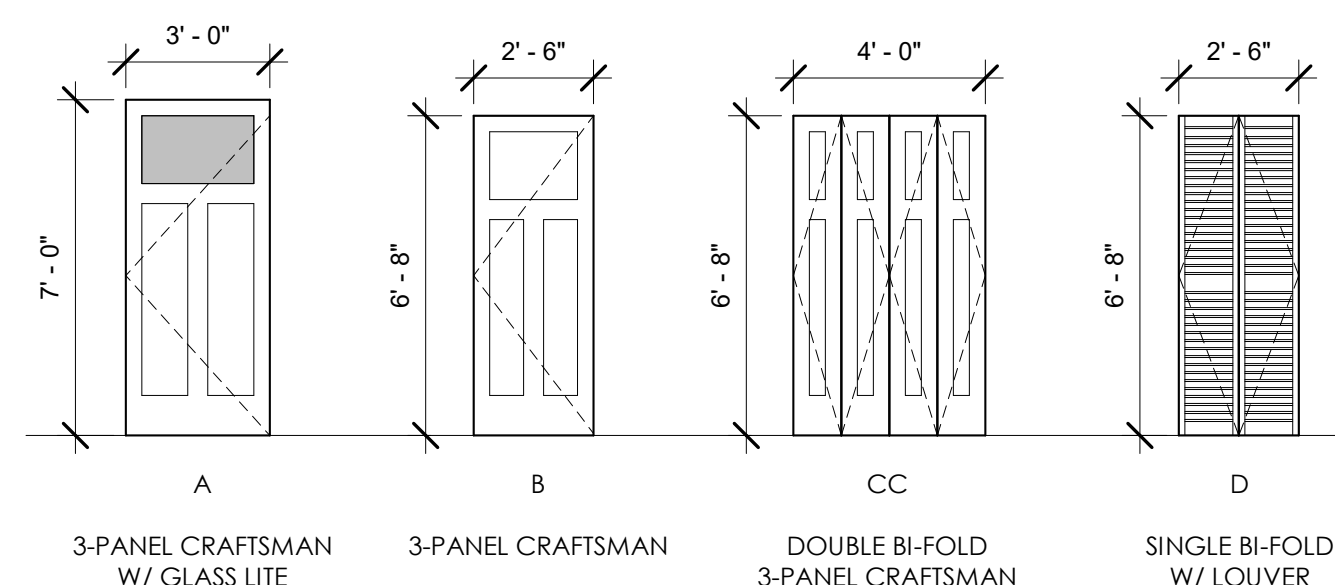
TOTAL WINDOWS: 24

DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	SIZE	DESCRIPTION	HARDWARE	NOTES
101A	A	36" x 84"	SINGLE 3-PANEL CRAFTSMAN W/ GLASS LITE	KWIKSET SAN CLEMENTE VENETIAN BRONZE HANDLESET	IMPACT RATED GLAZING
103A	D	30" x 80"	SINGLE BI-FOLD WITH LOUVER	OIL-RUBBED BRONZE PULL	
104A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
104B	CC	48" x 80"	DOUBLE BI-FOLD 3-PANEL CRAFTSMAN	OIL-RUBBED BRONZE PULL	
105A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
106A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
106B	CC	48" x 80"	DOUBLE BI-FOLD 3-PANEL CRAFTSMAN	OIL-RUBBED BRONZE PULL	
107A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET 355 PRIVACY VENETIAN BRONZE POCKET	
201A	A	36" x 84"	SINGLE 3-PANEL CRAFTSMAN W/ GLASS LITE	KWIKSET SAN CLEMENTE VENETIAN BRONZE HANDLESET	IMPACT RATED GLAZING
203A	D	30" x 80"	SINGLE BI-FOLD WITH LOUVER	OIL-RUBBED BRONZE PULL	
204A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
204B	CC	48" x 80"	DOUBLE BI-FOLD 3-PANEL CRAFTSMAN	OIL-RUBBED BRONZE PULL	
205A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
206A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET COVE VENETIAN BRONZE BED/BATH	
206B	CC	48" x 80"	DOUBLE BI-FOLD 3-PANEL CRAFTSMAN	OIL-RUBBED BRONZE PULL	
207A	B	30" x 80"	SINGLE 3-PANEL CRAFTSMAN SOLID CORE WOOD	KWIKSET 355 PRIVACY VENETIAN BRONZE POCKET	

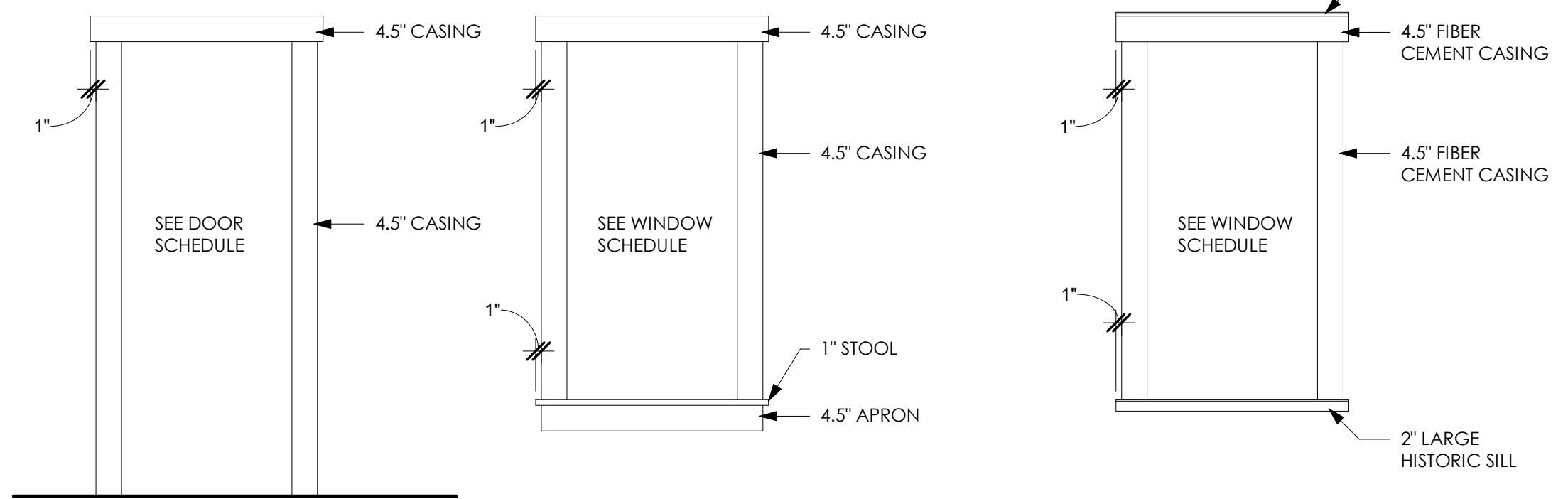
DOOR TYPES

*SEE DOOR SCHEDULE FOR ALL WIDTHS & HEIGHTS



ROOM FINISH SCHEDULE

ROOM NUMBER	NAME	FLOOR	FINISH			CEILING HEIGHT	MATERIAL KEY
			BASE	WALL	CEILING		
100	PORCH	ETR			TG		LVP LUXURY VINYL PLANK OVER UNDERLAYMENT GWB GYPSUM BOARD, FINE ORANGE PEEL FINISH PAINTED CB CEMENT BOARD, CERAMIC/PORCELAIN TILE FINISH TG T&G WOOD CEILING BOARD, PAINTED B WOOD BASE, SEE DETAIL A5/A-101 NOTE: FINISH COLORS AS SELECTED BY ARCHITECT DURING CONSTRUCTION FROM MANUFACTURER'S FULL RANGE NOTES LEGEND: USE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS. USE CEMENTITIOUS BACKER BOARD FOR TILE SUBSTRATE. SEE A-400 SHEETS FOR TILE PATTERNS.
101	LIVING	LVP	B	GWB	GWB	9'-4"	
102	KITCHEN	LVP	B	GWB, CB	GWB	8'-8"	
103	HALL	LVP	B	GWB	GWB	8'-8"	
104	BED 1	LVP	B	GWB	GWB	8'-8"	
105	BATH 1	CB	B	GWB, CB	GWB	8'-8"	
106	BED 2	LVP	B	GWB	GWB	8'-8"	
107	BATH 2	CB	B	GWB, CB	GWB	8'-8"	
200	PORCH	ETR			TG		
201	LIVING	LVP	B	GWB	GWB	9'-4"	
202	KITCHEN	LVP	B	GWB, CB	GWB	8'-8"	
203	HALL	LVP	B	GWB	GWB	8'-8"	
204	BED 1	LVP	B	GWB	GWB	8'-8"	
205	BATH 1	CB	B	GWB, CB	GWB	8'-8"	
206	BED 2	LVP	B	GWB	GWB	8'-8"	
207	BATH 2	CB	B	GWB, CB	GWB	8'-8"	



C3 INTERIOR CASING DETAILS

C4 EXTERIOR WINDOW CASING DETAIL

GENERAL NOTES

- SEE A-400 SHEETS FOR ENLARGED PLANS
- DIMENSIONS ARE INDICATED TO THE CENTERLINE OF STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED
- ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. DIMENSIONAL LAYOUT SHALL BE IN THE FOLLOWING PRIORITY ORDER:
 - STRUCTURAL DRAWINGS
 - LARGE SCALE DETAILS
 - SMALL SCALE DETAILS
 - ENLARGED PLANS AND SECTIONS
 - FLOOR PLANS
- FLOOR ELEVATIONS ARE INDICATED AT THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED
- VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR - "AFF" CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF THE FINISH MATERIAL, UNLESS OTHERWISE NOTED
- REQUIRED SIZE, CLEARANCES, AND RELATIONSHIPS ARE INDICATED BY DIMENSIONS AS NOTED
- THE EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS ARE PROVIDED BY THE ARCHITECT BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY THE ARCHITECT OF DEVIATIONS FROM THESE DRAWINGS.

PLAN KEYNOTES

- NEW 1x6 CYPRESS SCREEN WALL FROM DECK TO CEILING, SEAL WITH CLEAR OIL-BASED WATERPROOFER
- INSPECT EXISTING PORCH DECKING TO DETERMINE IF NEW COMPOSITE DECKING IS REQUIRED
- NEW LAMINATE FLOORING WITH PAD OVER 3/4" TONGUE AND GROOVE OSB SUB-FLOOR, GLUED AND NAILED
- NEW LAMINATE FLOORING WITH PAD OVER EXISTING SUB-FLOOR
- NEW EXTERIOR SMOOTH CEMENT BOARD SIDING WITH 6" LAP OVER EXISTING SHINGLE SIDING, DO NOT DISTURB EXISTING SIDING
- NEW EXTERIOR 2X STUD WALLS WITH FIBER CEMENT VERTICAL SIDING AND TRIM, 1/2" CDX PLYWOOD BASE, R-19 INSULATION MIN AND 1/2" GYPSUM WALL BOARD INTERIOR
- NEW CERAMIC TILE FLOORING OVER 1/4" CEMENTITIOUS TILE BOARD OVER 3/4" TONGUE AND GROOVE OSB SUB-FLOOR, GLUED AND NAILED, SEE FINISH SCHEDULE
- NEW 1-HR RATED FIRE (JUL-305) STUD WALL DIVIDING UNITS EXTENDS FROM FOOTING TO UNDERSIDE OF ROOF DECK, SEE DETAIL D4/A-301
- NEW 2X4 STUD WALL AT 16" O.C. WITH 1/2" GYPSUM WITH SMOOTH FINISH OR CEMENTITIOUS TILE BOARD IN SHOWERS
- NEW 2X4 STUD KNEE WALL AT 16" O.C. WITH 1/2" GWB & 5/16" V-PLANK WOOD FINISH PAINTED
- NEW 2x6 STUD WALL AT 16" O.C. WITH 1/2" GYPSUM OR CEMENTITIOUS TILE BOARD IN SHOWERS, SEE ENLARGED ELEVATIONS A-400
- NEW PULL-DOWN ATTIC ACCESS LADDER
- PATCH AND REPAIR SUB-FLOOR MISSING FROM CHIMNEY REMOVAL, 3/4" TONGUE AND GROOVE OSB SUB-FLOOR, GLUED AND NAILED
- STRUCTURAL BEAM ABOVE, WRAPPED IN DECORATIVE SALVAGED BEAM
- EXISTING PORCH KNEE WALL TO REMAIN, EXTERIOR SMOOTH CEMENT BOARD SIDING WITH 6" LAP, SEE A-201
- NEW 2x8 CYPRESS OR CEDAR WALL CAP TO ACCOMMODATE NEW WALL THICKNESS, PROVIDE MIN. 3/4" OVERHANG

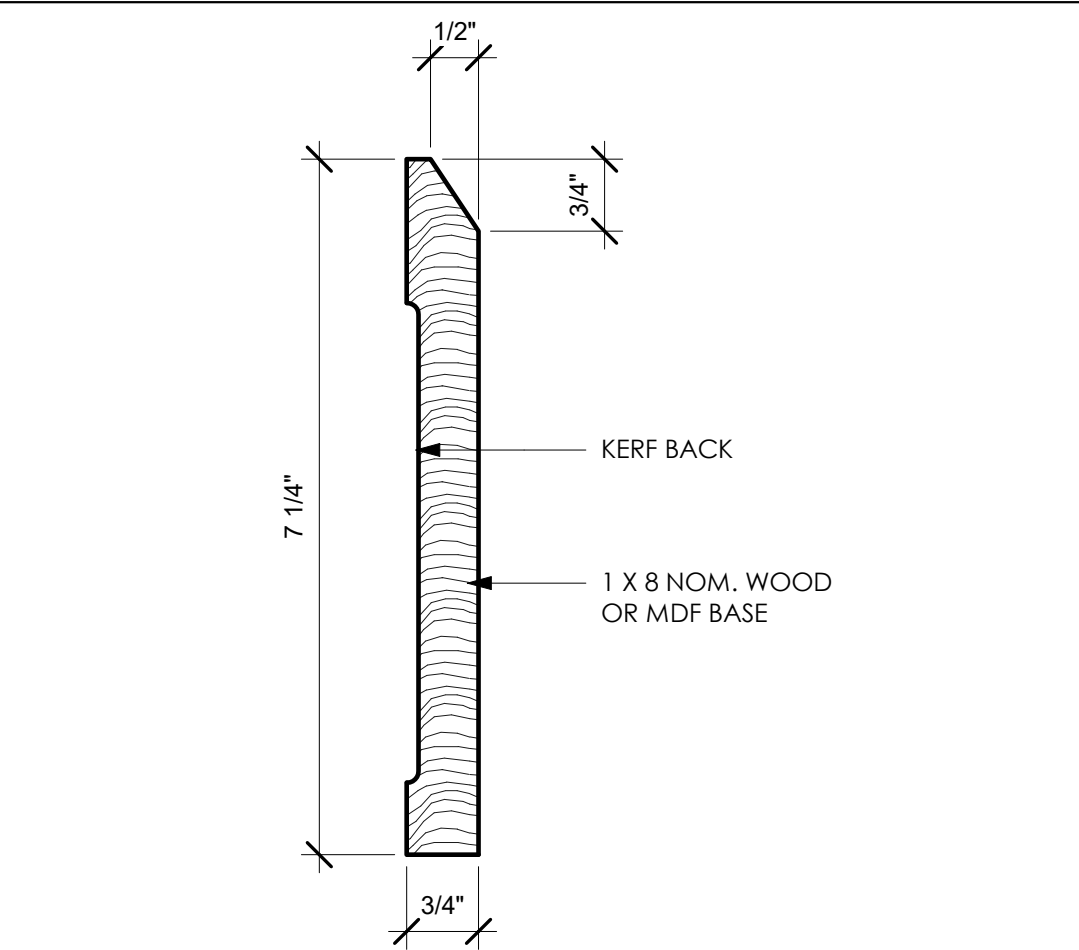
WINDOW FALL PROTECTION

IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES (1829 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

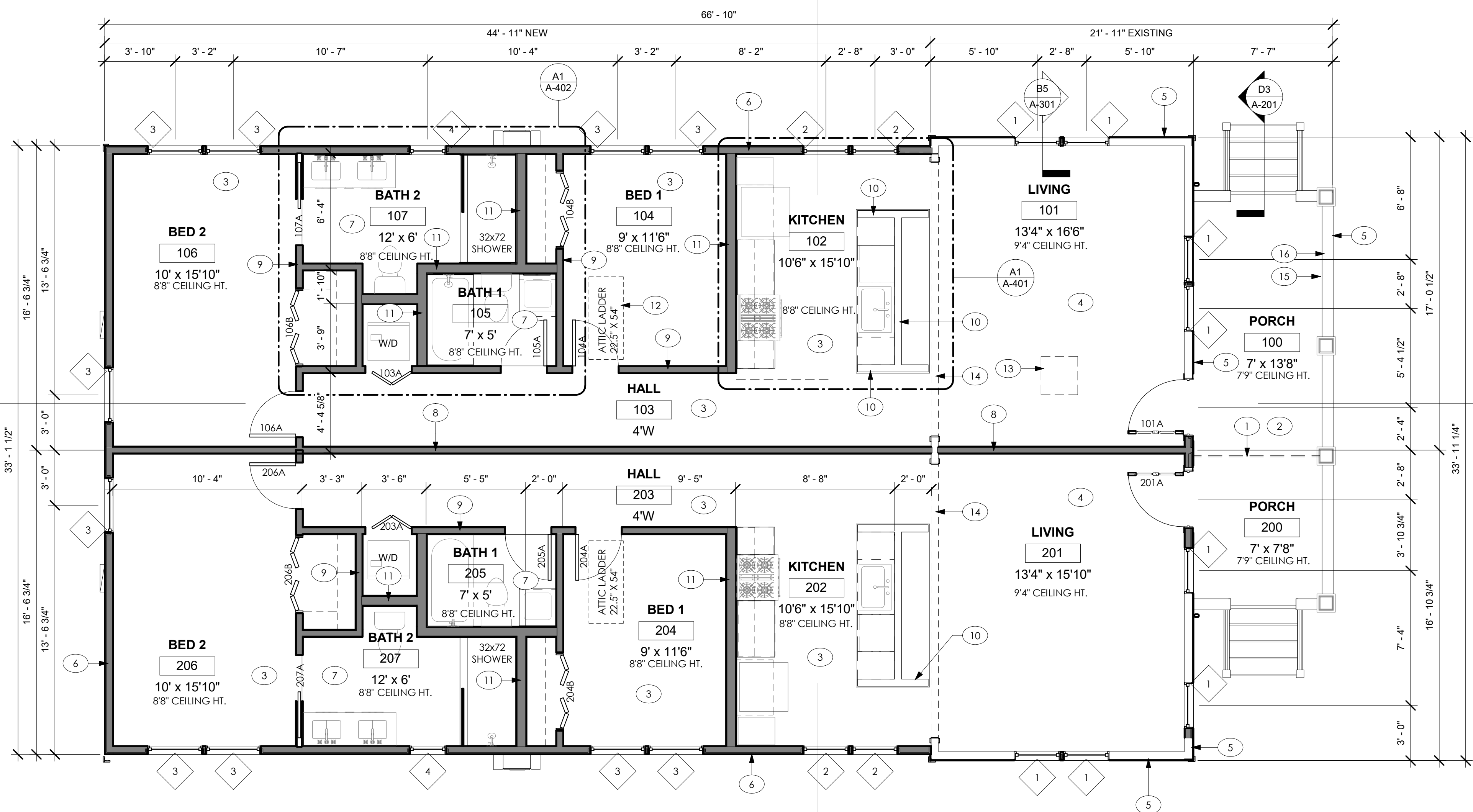
- OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090.
- OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

AREA CALCULATIONS

GROSS FLOOR AREA:	UNIT 1	ENCLOSED	993 S.F.
	OPEN	108 S.F.	
	UNIT 2	ENLCLOSED	981 S.F.
	OPEN	62 S.F.	
	TOTAL	ENCLOSED	1,974 S.F.
		OPEN	170 S.F.
			2,144 S.F.



A5 BASE PROFILE



FLOOR PLAN



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AA26003970

Alexander B. Smith, NCARB

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ALTERATIONS TO

458/456 JOYCE TERR N

458 JOYCE TERR N
ST. PETERSBURG, FL 33701

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

FLOOR PLANS

REVISIONS:

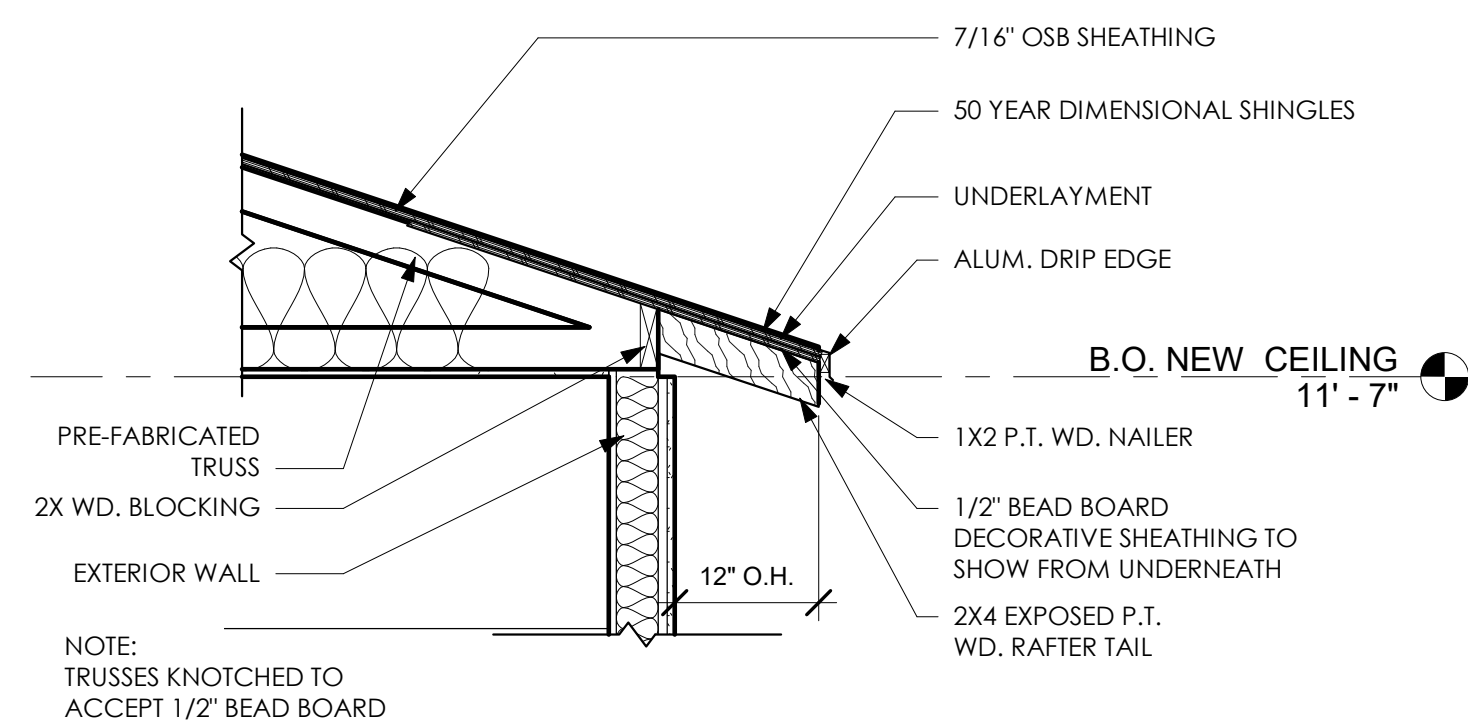
DATE ISSUED: 02/04/2021
PROJECT NO.: A20.0002

DRAWING NUMBER:

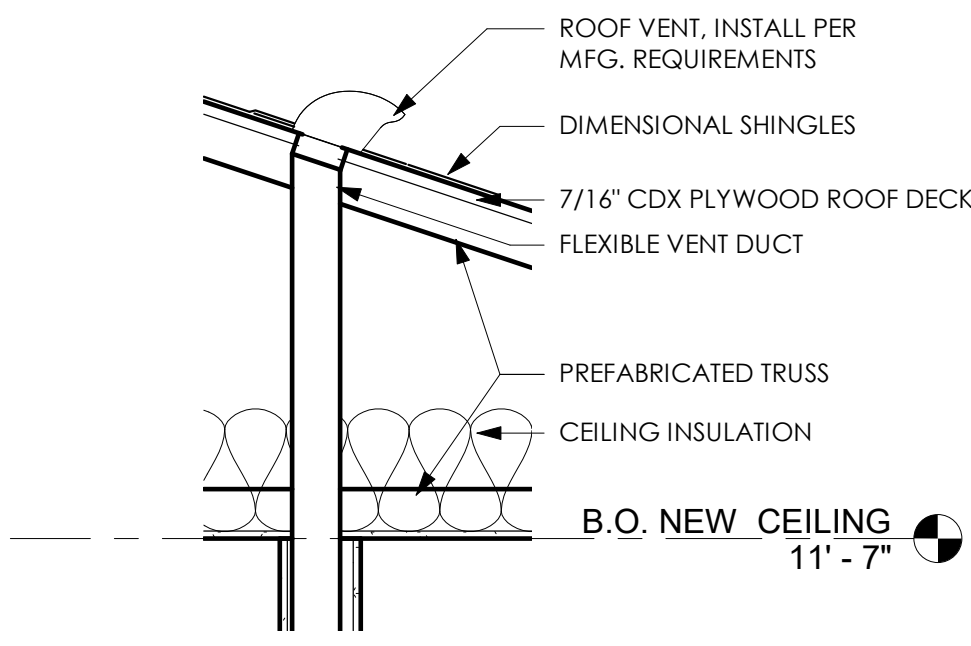
A-101

SHEET: 9 OF 15

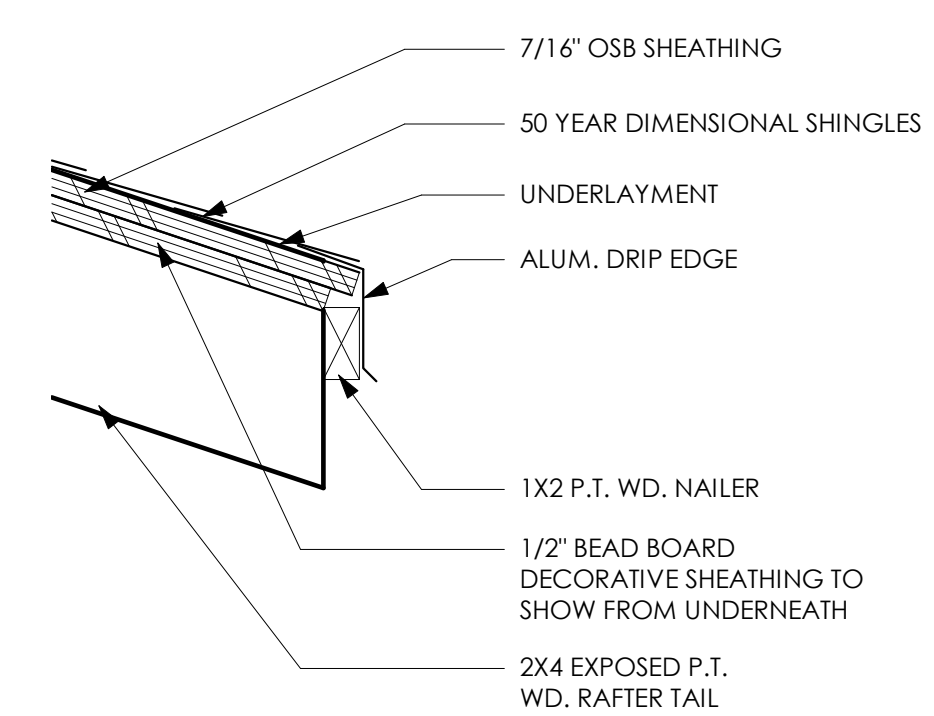
ALEXANDER B. SMITH
REGISTERED ARCHITECT
1440007000



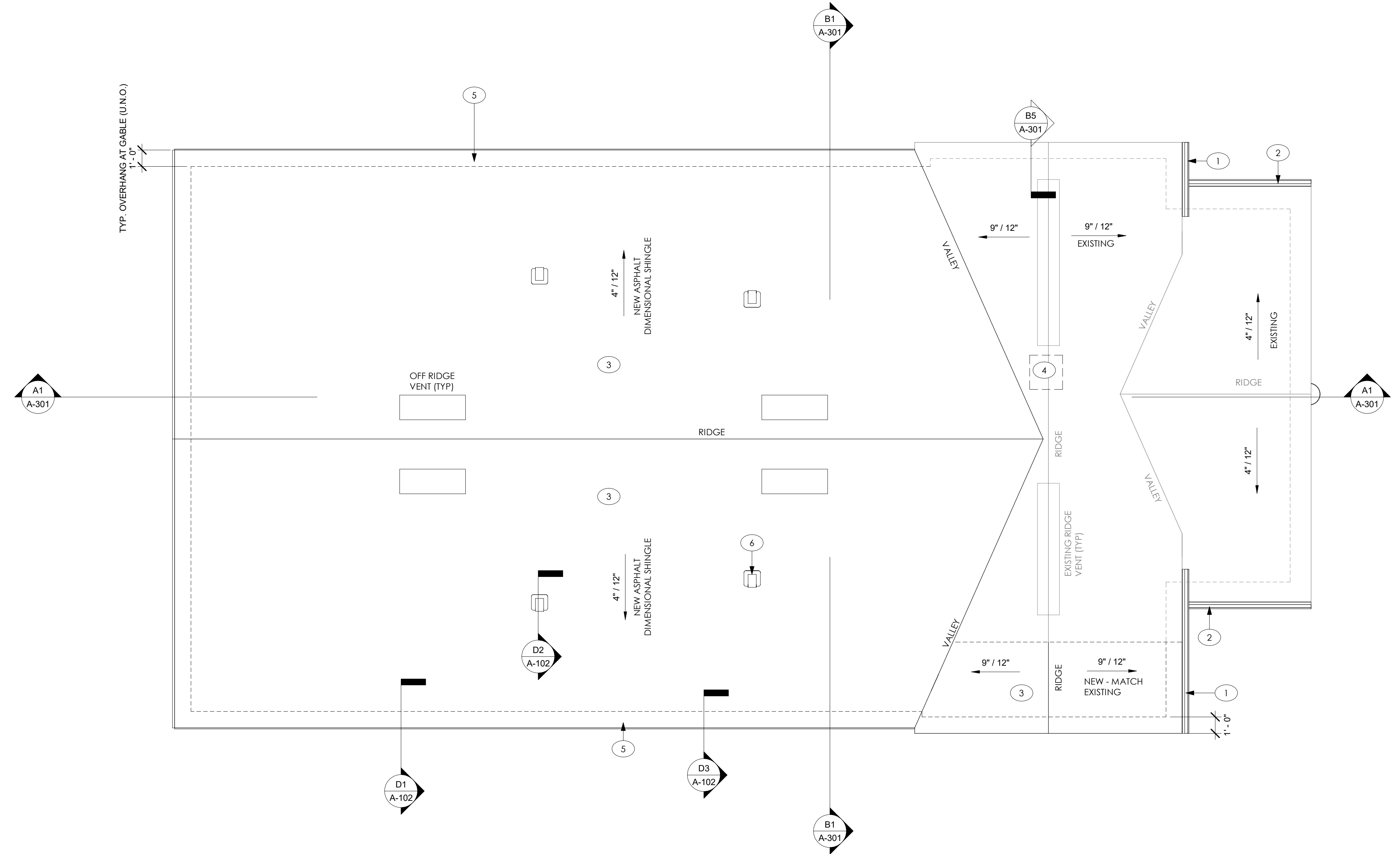
D1 EXPOSED RAFTER TAIL DETAIL
3/4" = 1'-0"



D2 ROOF VENT DETAIL
3/4" = 1'-0"



D3 TYPICAL FASCIA DETAIL
3" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE COMPOSITION ROOF SHINGLE (OWENS CORNING 50 YEAR, DIMENSIONAL) OVER (2) LAYERS 30# FELT OVER 7/16" PLYWOOD, EXPOSURE 1, C.D., RATED 40/20.
2. PROVIDE GALVANIZED METAL FLASHING AT ALL FASCIAS, VALLEYS, CRICKETS & WALLS TO ROOF WATERPROOFING CONDITIONS.
3. COORDINATE ALL OPENINGS THROUGH THE ROOF DECK WITH STRUCTURAL DRAWINGS & WOOD TRUSS SHOP DRAWINGS. NOTIFY ARCHITECT/G.C. OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
4. PREFAB WOOD TRUSSES AT 24" O/C.
5. PROVIDE ONE HURRICANE CLIP PER ROOF TILE AT EAVE COURSE &/OR AS SPECIFIED BY MANUF. & PRODUCT APPROVAL.

PLAN KEYNOTES

1. 5.5" ALUMINUM GUTTER
2. 5.5" ALUMINUM GUTTER WITH DOWNSPOUT
3. NEW 50 YEAR DIMENSIONAL SHINGLE ROOF. MATCH EXISTING, OVER FELT UNDERLAYMENT WITH 7/16" CDX PLYWOOD ROOF DECK, ROOF INSULATION R-38 MIN
4. PATCH AND REPAIR ROOF MISSING FROM CHIMNEY REMOVAL
5. 12" OVERHANG WITH EXPOSED RAFTER TAILS, SEE DETAIL D1/A-102
6. EXHAUST FAN ROOF VENT, TYP.

ROOF VENT CALCULATIONS

ASSUMED NET FREE AREA PER VENT 18 SQ. IN. PER FOOT		EXISTING ROOF
ATTIC AREA		442 SQ. FT.
NET FREE VENT. AREA REQD. (AREA/300)		213 SQ. IN.
NET FREE VENT. AREA REQUIRED	NEAR RIDGE	107 SQ. IN.
	NEAR SOFFIT	107 SQ. IN.
NUMBER OF ROOF VENTS REQUIRED		6 LINEAR FEET
ASSUMED NET FREE AREA PER VENT 104 SQ. IN.		NEW ROOF
ATTIC AREA		1476 SQ. FT.
NET FREE VENT. AREA REQD. (AREA/300)		709 SQ. IN.
NET FREE VENT. AREA REQUIRED	NEAR RIDGE	355 SQ. IN.
	NEAR SOFFIT	355 SQ. IN.
NUMBER OF ROOF VENTS REQUIRED		4 (2 PER UNIT)



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SHEET TITLE:

ROOF PLAN

REVISIONS:

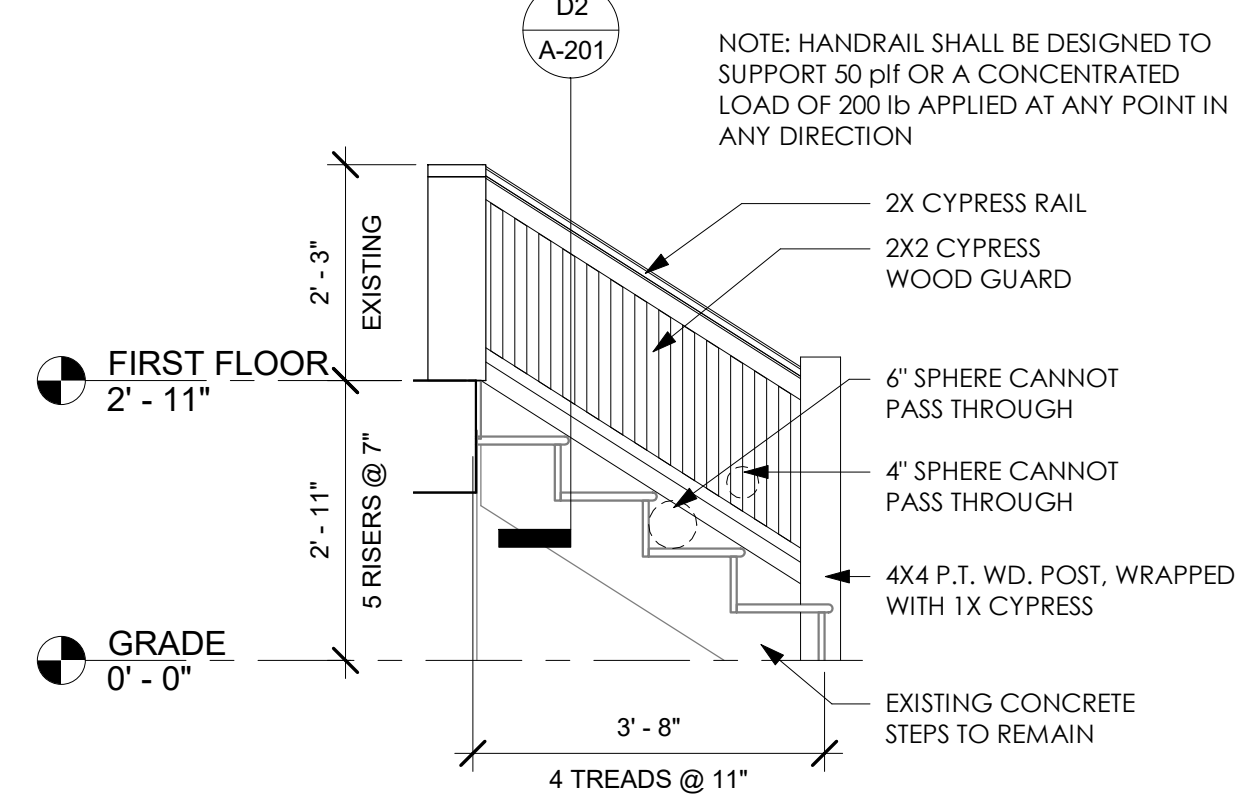
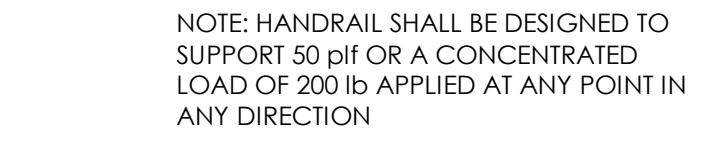
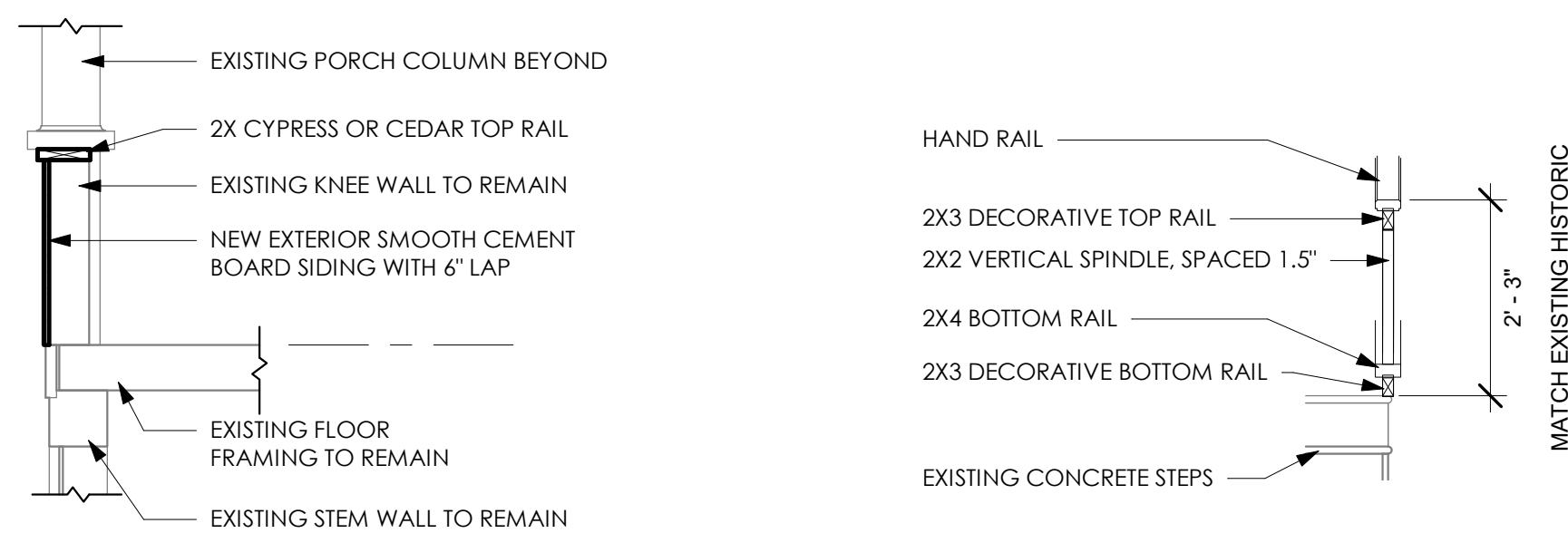
DATE ISSUED: 02/04/2021
PROJECT NO.: A20.0002

DRAWING NUMBER:

A-102

SHEET: 10 OF 15

ALEXANDER B. SMITH
ARCHITECT
MM/BB/PTTY



FENESTRATION CALCULATIONS		NT-2	
FRONT FACADE:	SURFACE AREA	340 S.F.	
	FENESTRATION	182 S.F. (54%)	
	GLAZING	50 S.F. (15%)	
SIDE FACADE:	SURFACE AREA	425 S.F.	
	FENESTRATION	205 S.F. (33%)	
	GLAZING	85 S.F. (14%)	
REAR FACADE:	SURFACE AREA	432 S.F.	
	FENESTRATION	95 S.F. (22%)	
	GLAZING	25 S.F. (6%)	

- ELEVATION KEYNOTES**
- SMOOTH CEMENT BOARD SIDING WITH 6" LAP
 - FIBER CEMENT WINDOW CASING, SEE PROFILE DETAIL A5/A-201
 - 2" PVC WATER TABLE & 8" FIBER CEMENT TRIM
 - 6" SMOOTH FIBER CEMENT TRIM
 - 8X16 CMU STEM WALL
 - ORTHO WOOD LATTICE WITH WIRE MESH BACKING
 - EXISTING ASPHALT DIMENSIONAL SHINGLE ROOF TO REMAIN
 - NEW ASPHALT DIMENSIONAL SHINGLE ROOF, MATCH EXISTING COLOR
 - EXISTING CONCRETE STEPS TO REMAIN
 - CYPRESS OR CEDAR WOOD RAILING AND CAP, SEE RAILING DETAILS
 - ALUMINUM GUTTER AND DOWNSPOUT
 - CRAWLSPACE ACCESS, COVER WITH ORTHO LATTICE
 - 8" SMOOTH FIBER CEMENT TRIM AND 2" PVC DRIP CAP
 - ELECTRIC RISER, METER AND PANEL
 - AC CONDENSING UNIT
 - NEW GAS METER
 - ON DEMAND GAS HOT WATER HEATER
 - EXISTING GABLE VENT TO REMAIN
 - DRYER EXHAUST VENT
 - DECORATIVE LIGHT FIXTURE
 - SINGLE HUNG VINYL WINDOW, TO BE RECESSED A MIN. 1" FROM FACE OF BUILDING, SEE SCHEDULE A-101
 - INSWING 3-PANEL FIBERGLASS CRAFTSMAN DOOR WITH GLASS LITE, SEE SCHEDULE A-101
 - EXPOSED RAFTER TAILS, SEE DETAIL D1/A-102
 - 2X6 BARGE RAFTER
 - EXISTING DECORATIVE CMU, BACK WITH WIRE MESH
 - EXHAUST FAN ROOF VENT, TYP.
 - NEW ADDITION TO BE RECESSED 4" FROM EXISTING BUILDING

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SHEET TITLE:

BUILDING ELEVATIONS

REVISIONS:

DATE ISSUED: 02/04/2021
PROJECT NO.: A20.0002

DRAWING NUMBER:

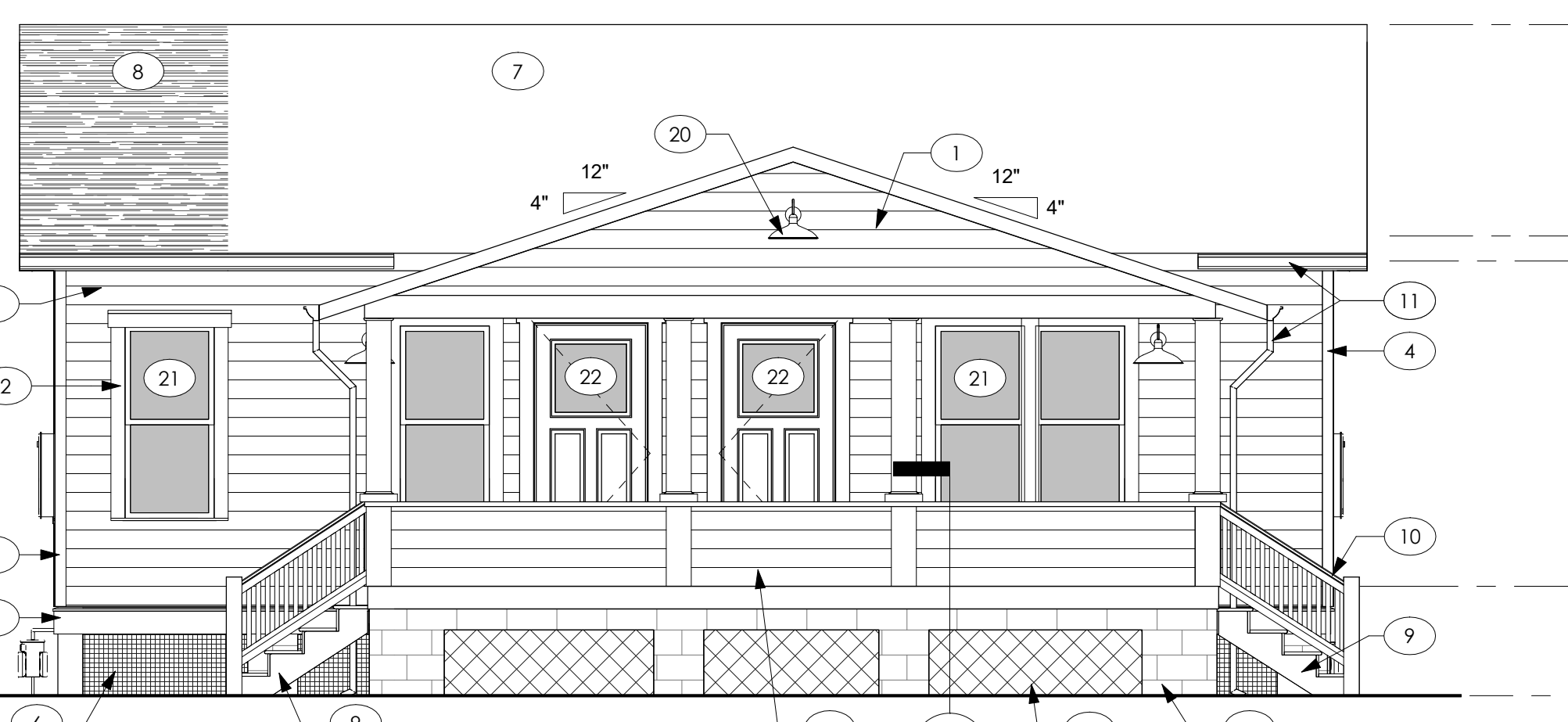
A-201

SHEET: 11 OF 15

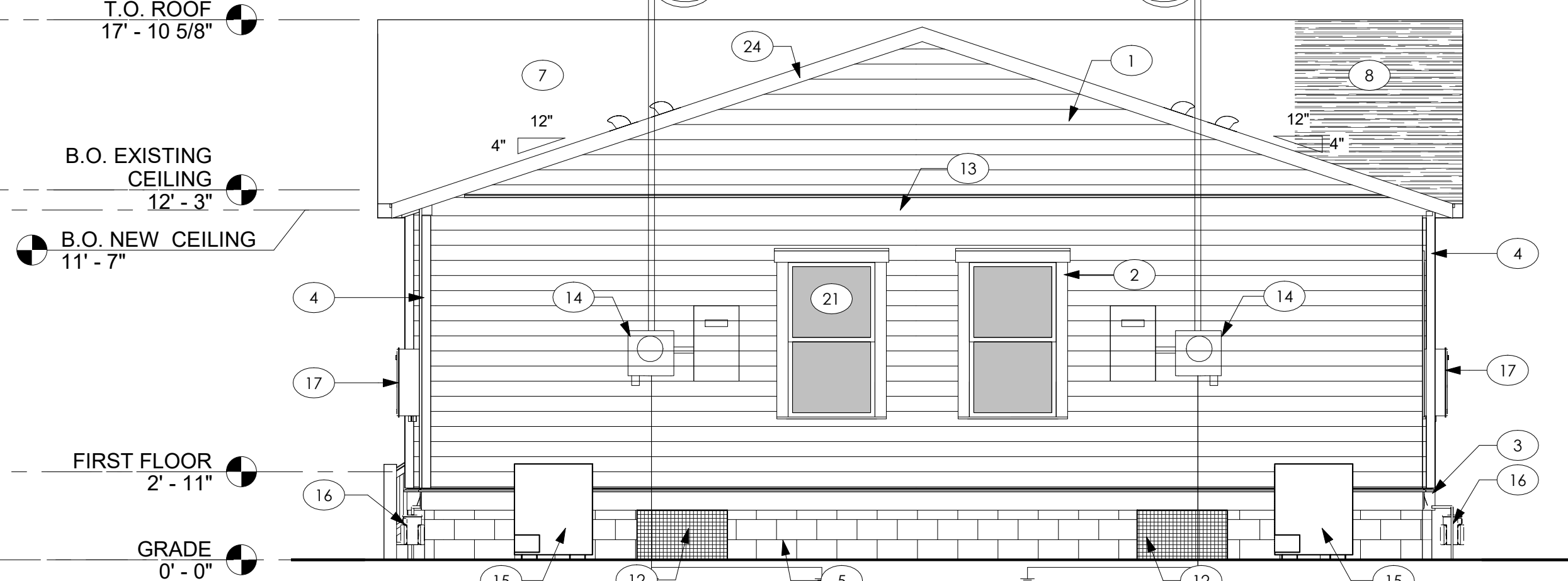
D1 KNEE WALL SECTION
1/2" = 1'-0"

D2 RAILING SECTION
1/2" = 1'-0"

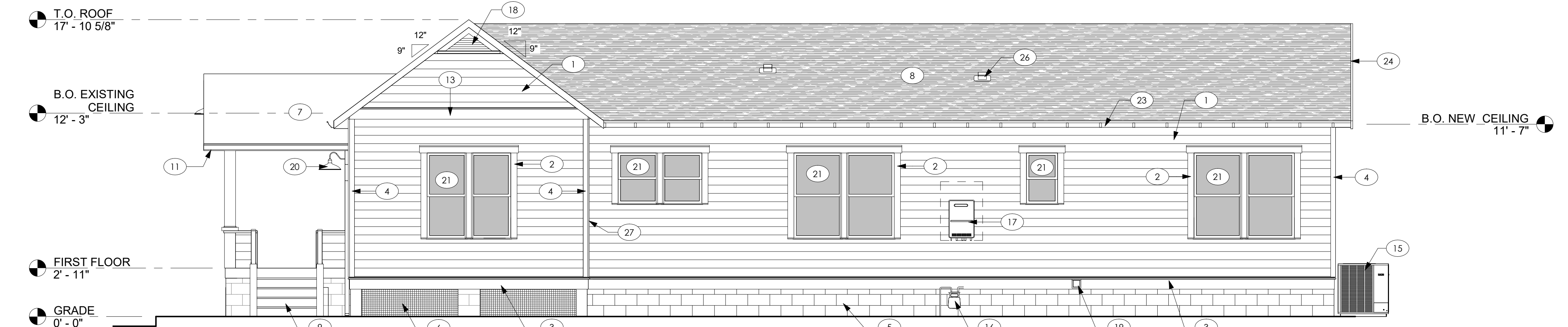
D3 STAIR/RAILING DETAIL
1/2" = 1'-0"



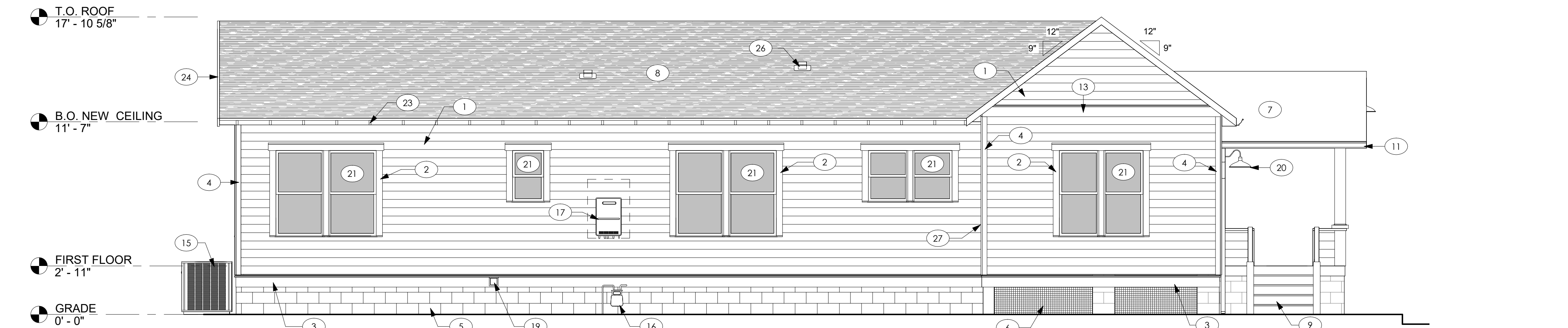
C1 FRONT ELEVATION - NORTH
1/4" = 1'-0"



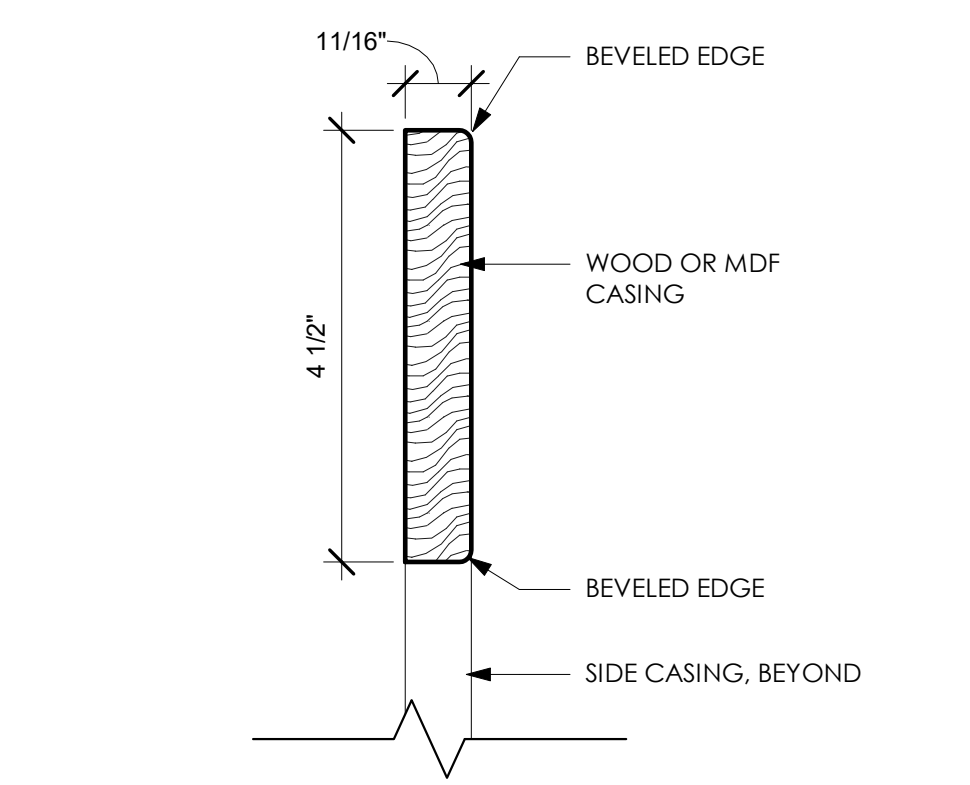
C3 REAR ELEVATION - SOUTH
1/4" = 1'-0"



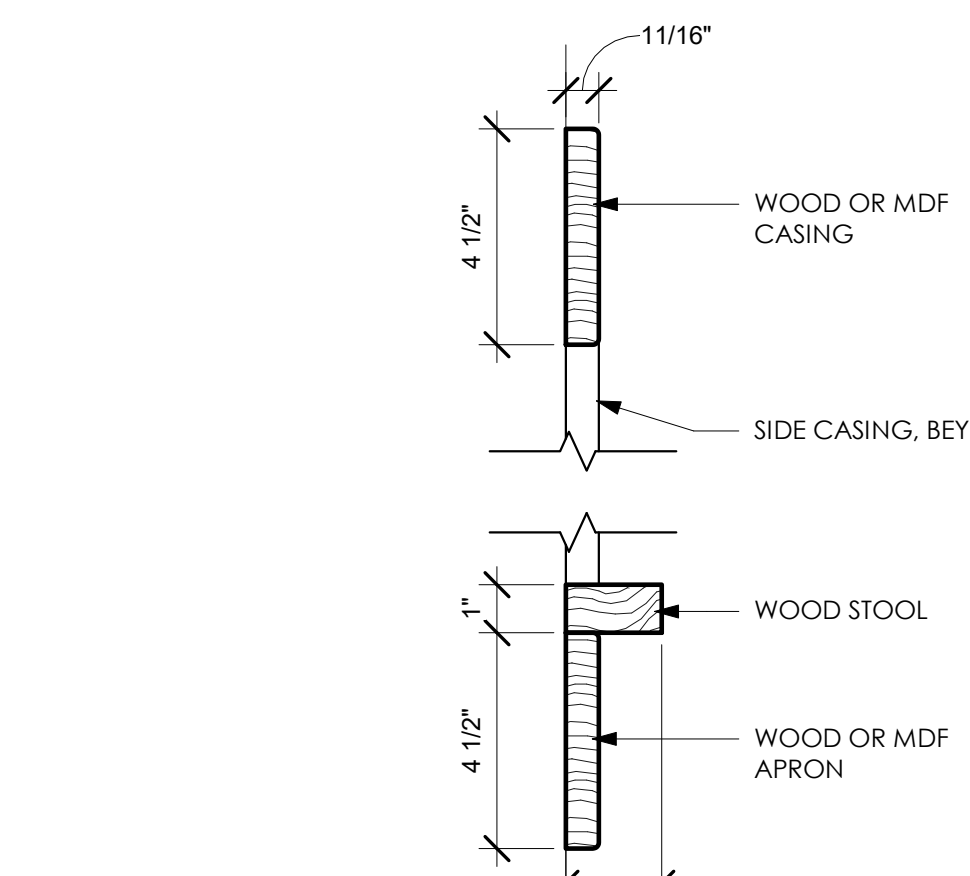
B1 SIDE ELEVATION - WEST
1/4" = 1'-0"



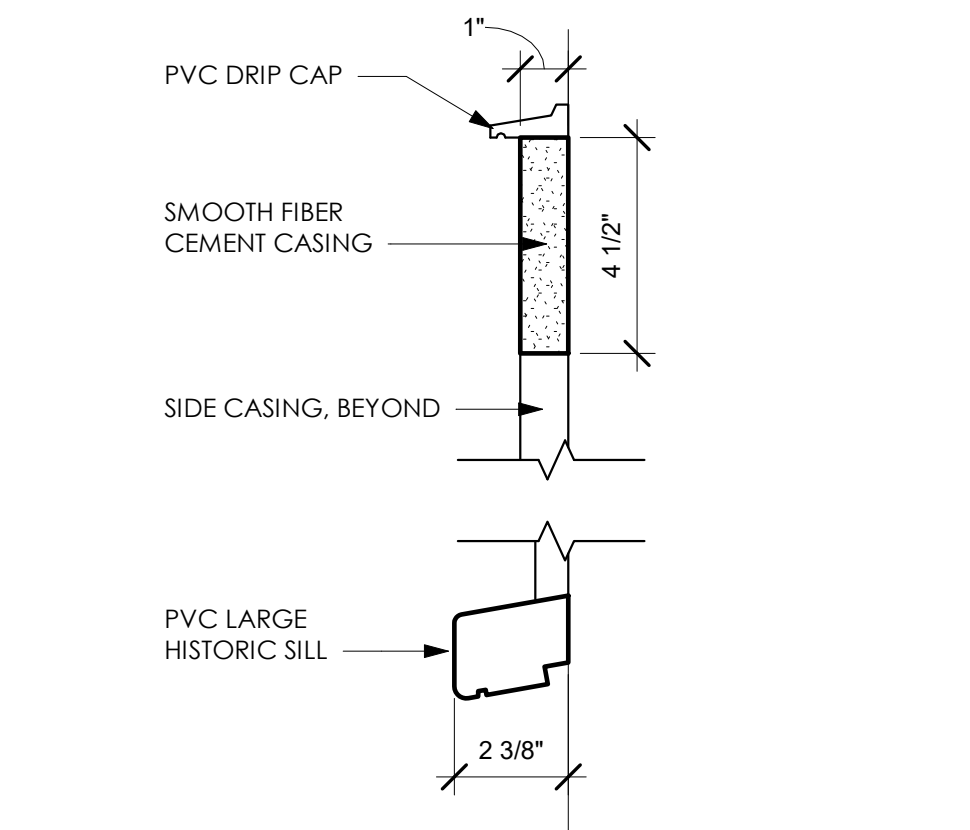
A1 SIDE ELEVATION - EAST
1/4" = 1'-0"



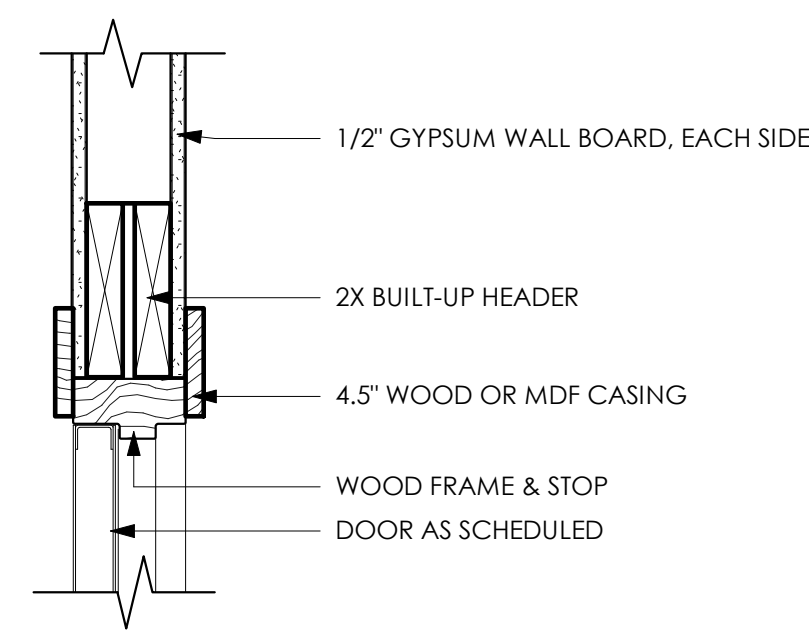
C5 INTERIOR DOOR CASING PROFILE
6" = 1'-0"



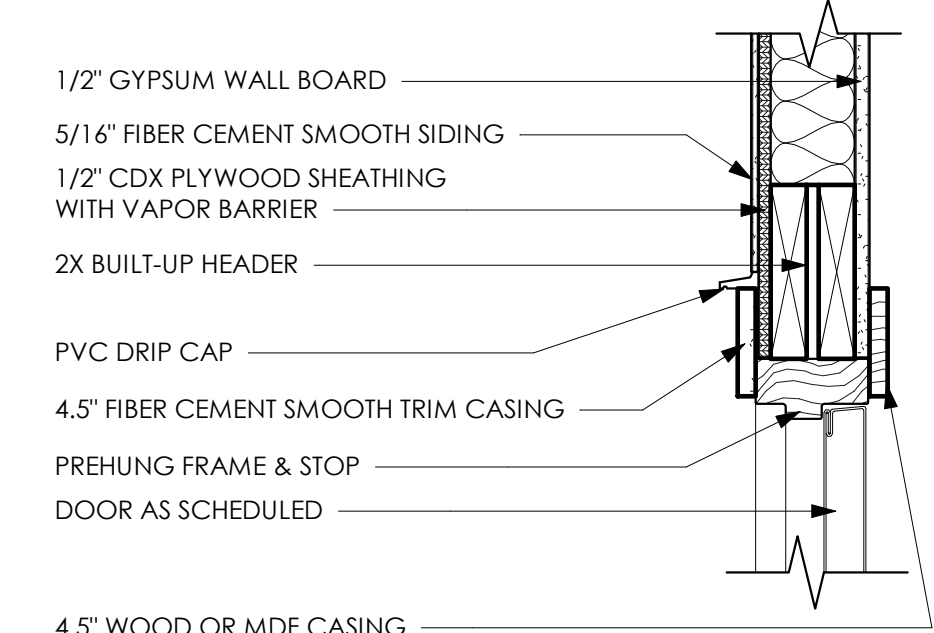
B5 INTERIOR WINDOW CASING PROFILE
3" = 1'-0"



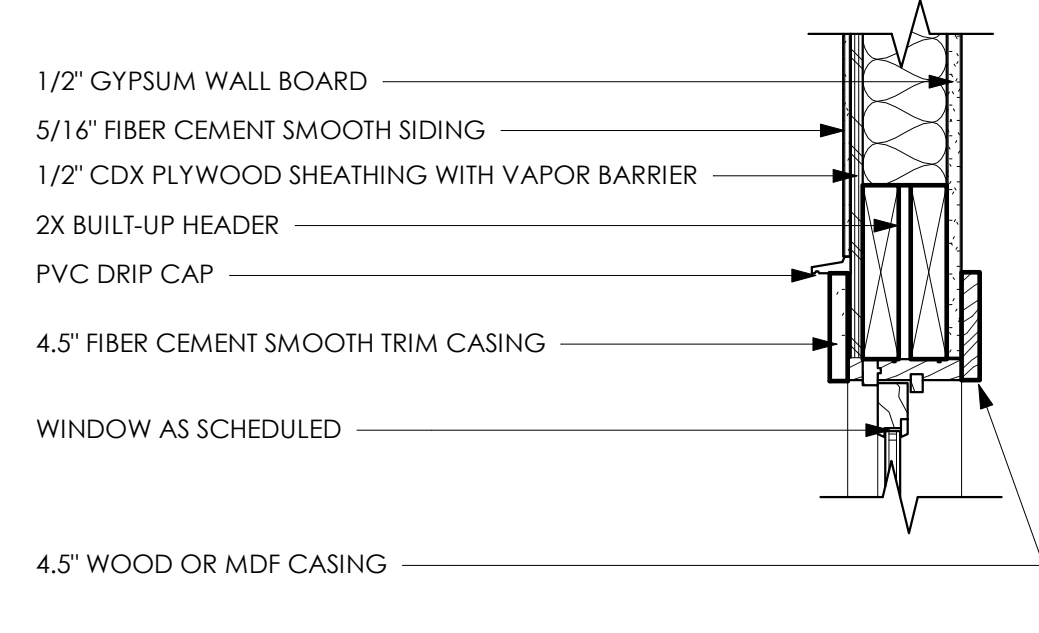
A5 EXTERIOR WINDOW CASING PROFILE
3" = 1'-0"



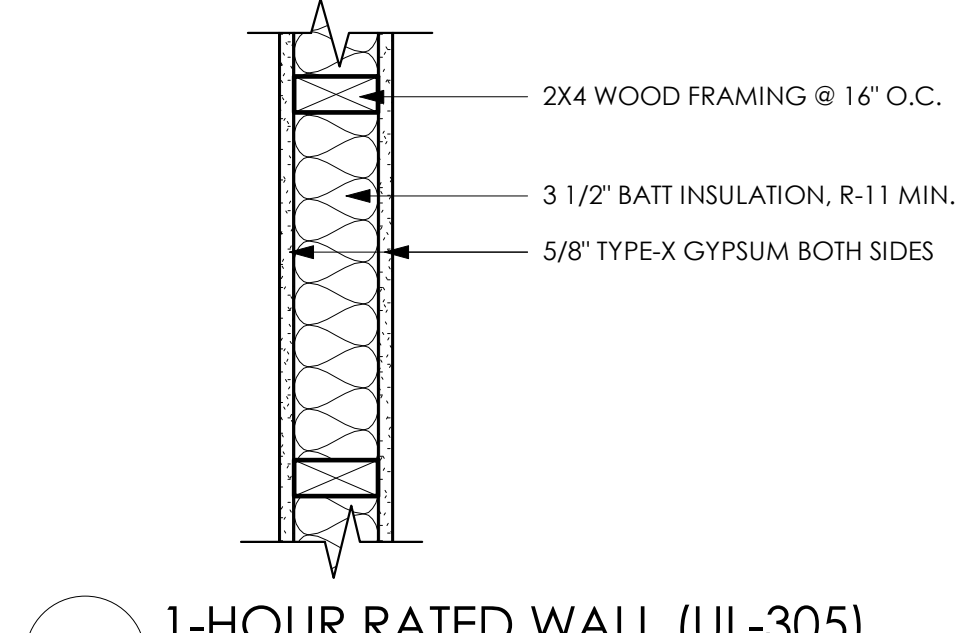
D1 INT. DOOR HEAD DETAIL
1 1/2" = 1'-0"



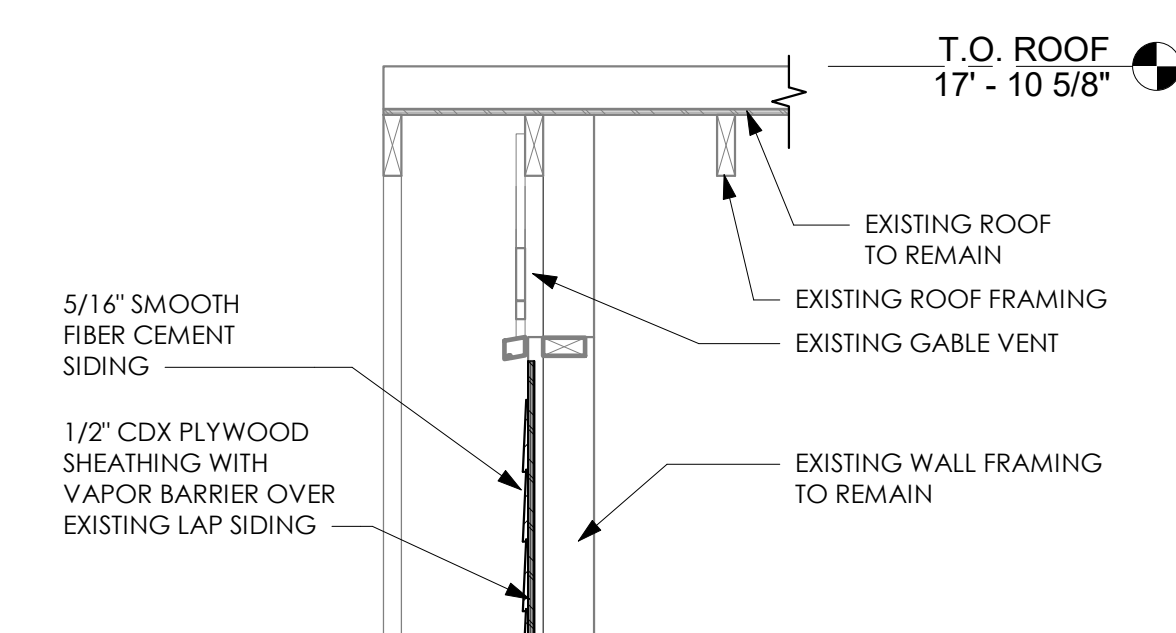
D2 EXT. DOOR HEAD DETAIL
1 1/2" = 1'-0"



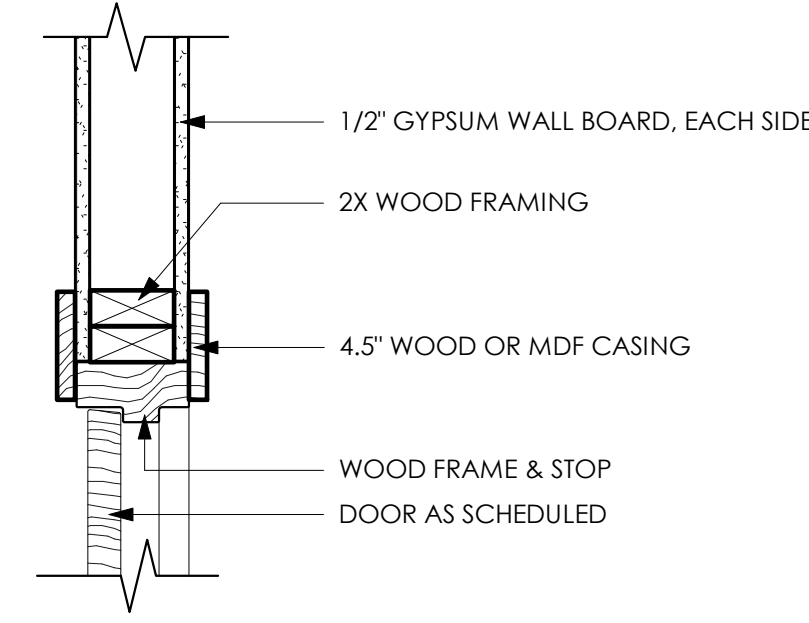
D3 WINDOW HEAD DETAIL
1 1/2" = 1'-0"



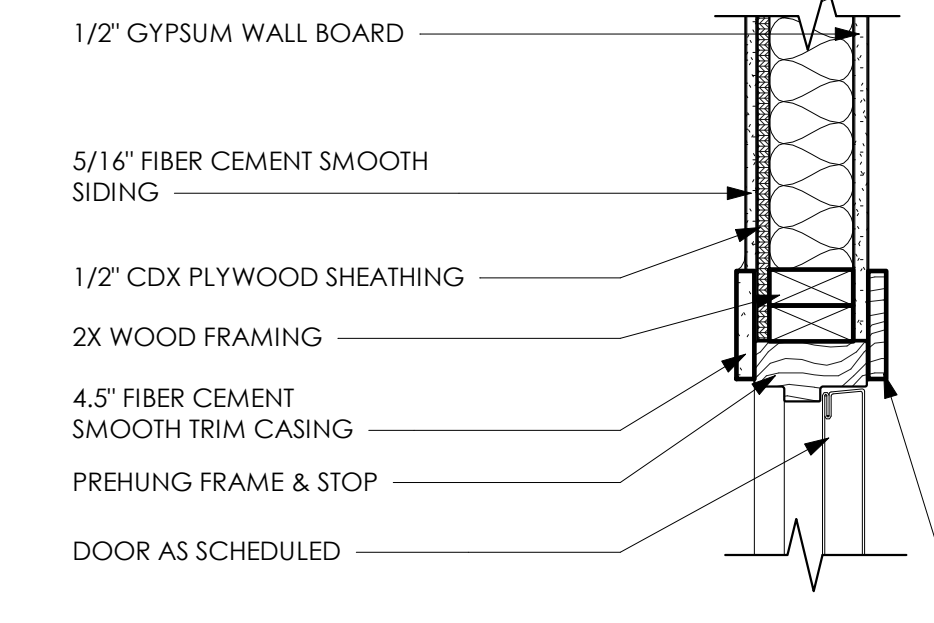
D4 1-HOUR RATED WALL (UL-305)
1 1/2" = 1'-0"



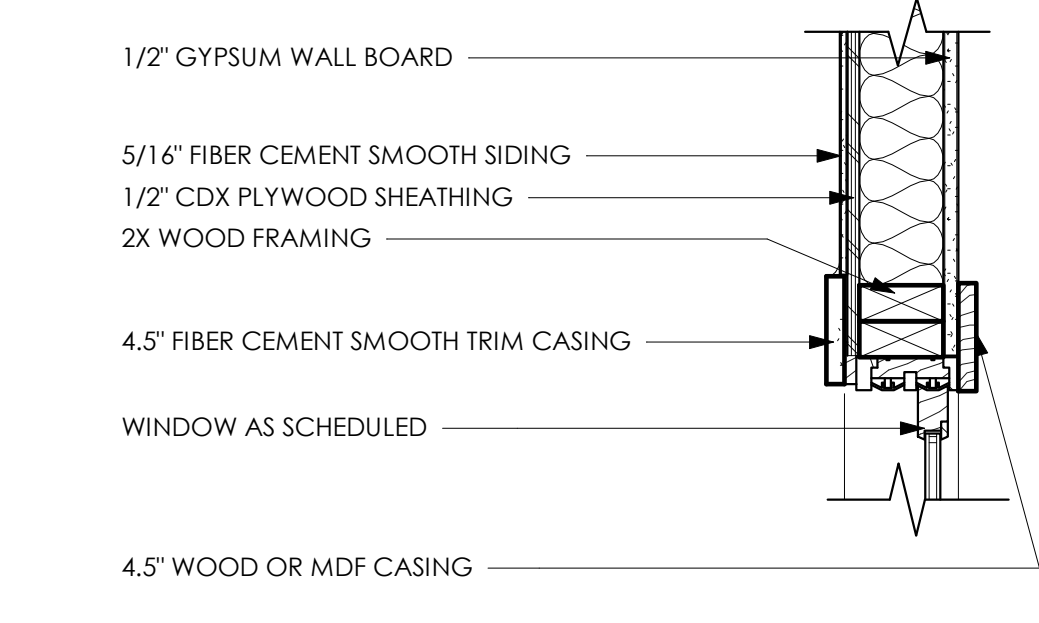
B5 WALL SECTION - EXISTING
3/4" = 1'-0"



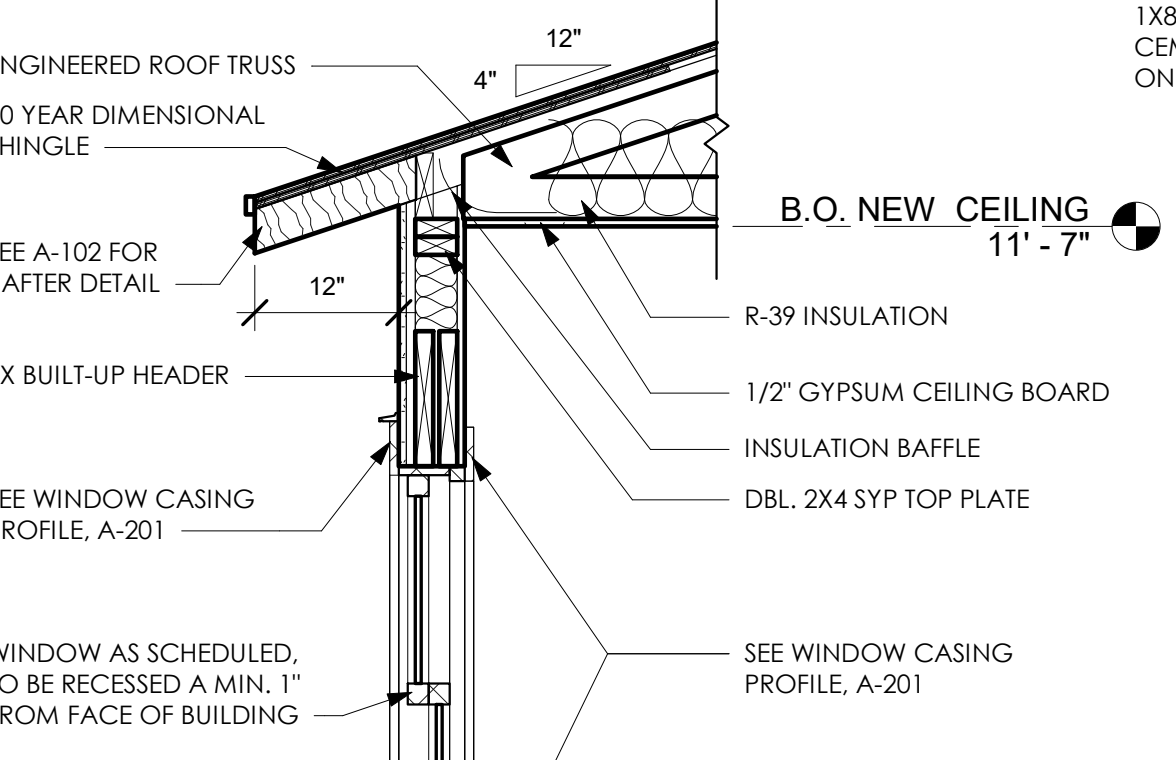
C1 INT. DOOR JAMB DETAIL
1 1/2" = 1'-0"



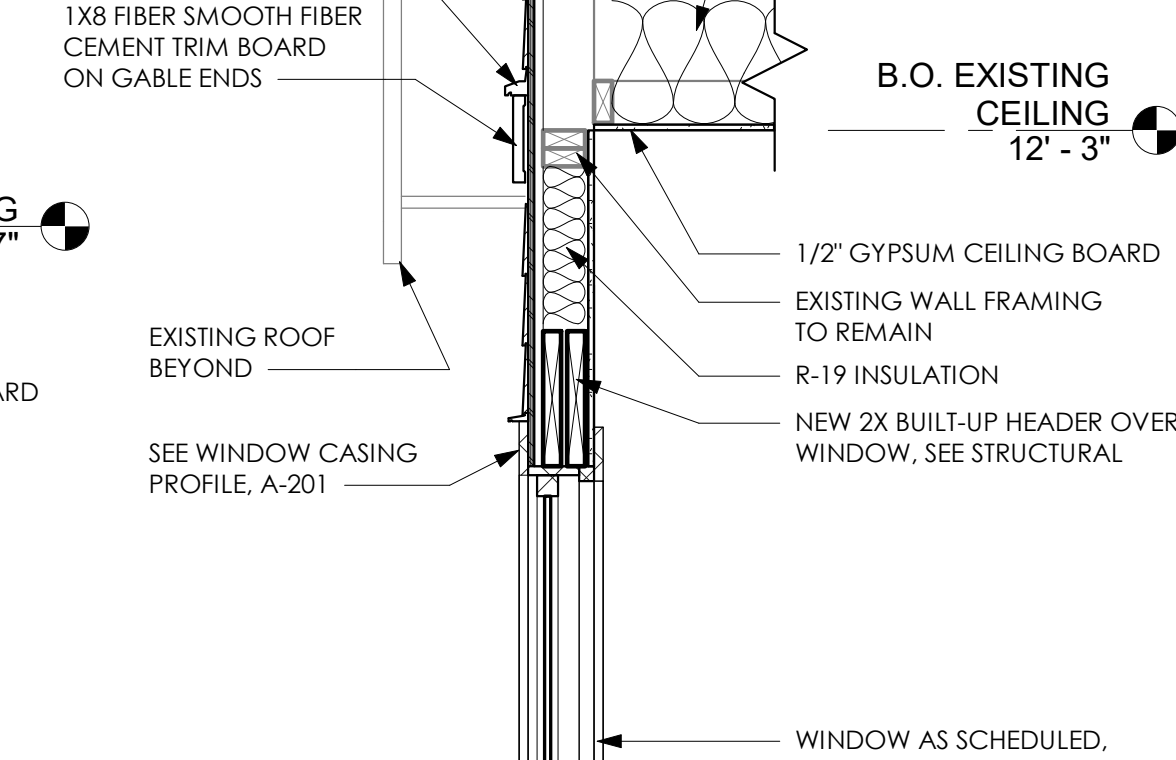
C2 EXT. DOOR JAMB DETAIL
1 1/2" = 1'-0"



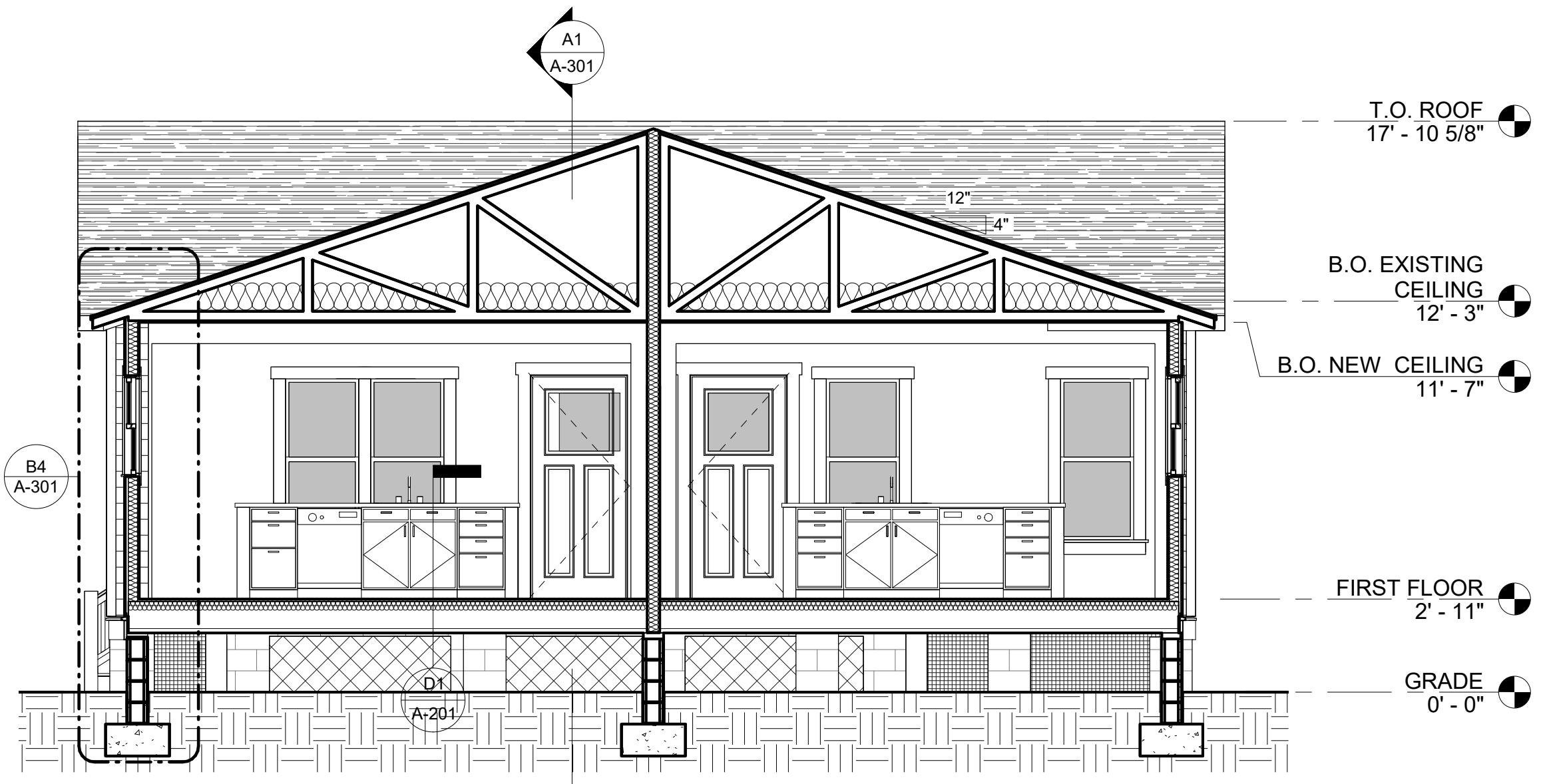
C3 WINDOW JAMB DETAIL
1 1/2" = 1'-0"



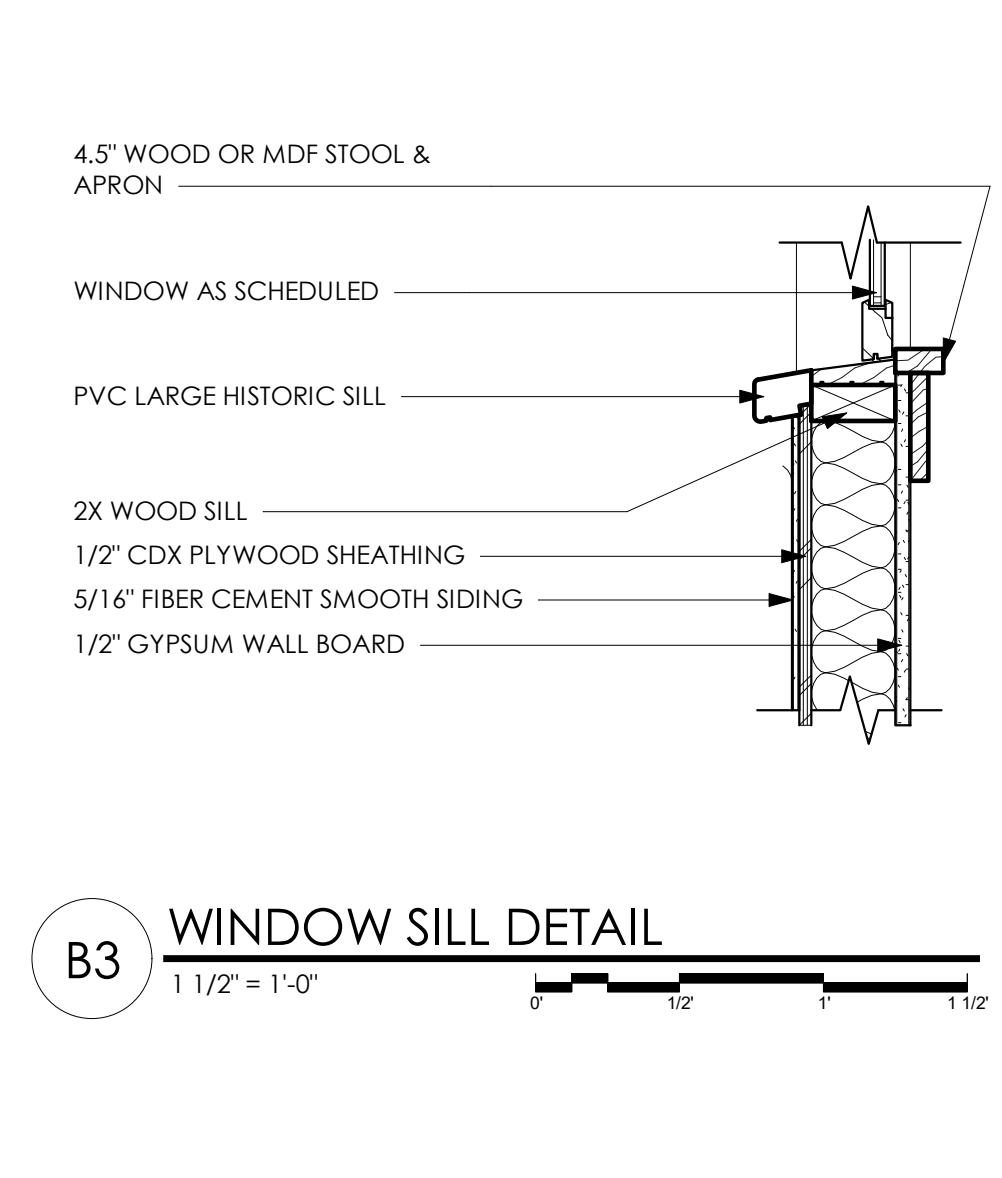
B4 WALL SECTION - NEW
3/4" = 1'-0"



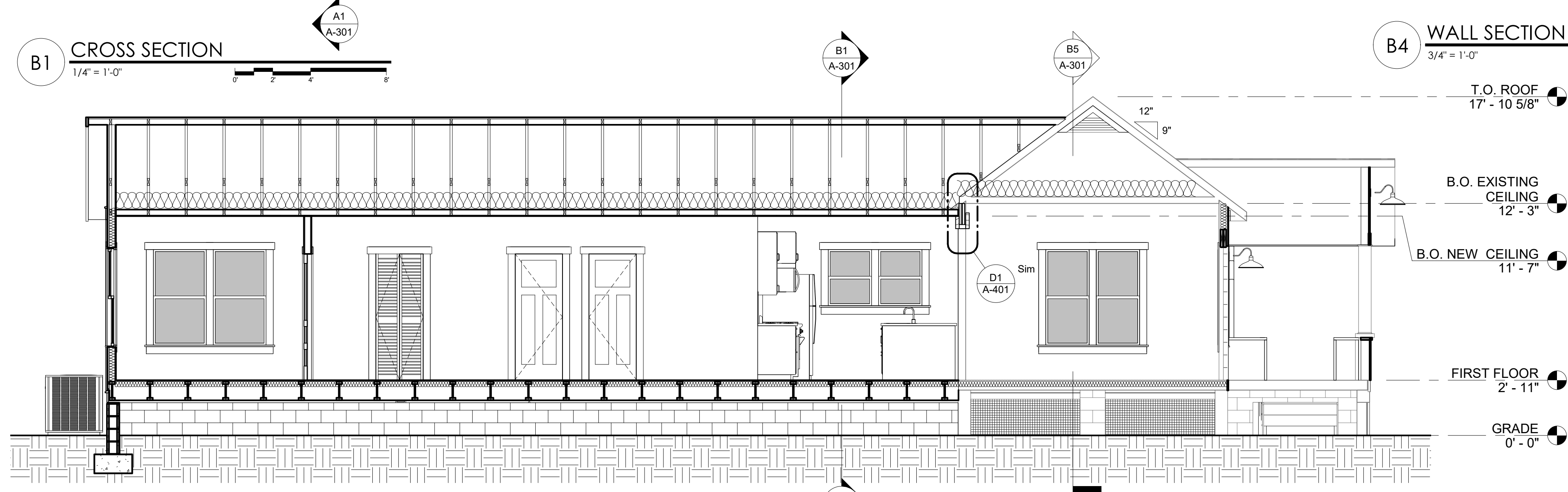
B5 WALL SECTION - EXISTING
3/4" = 1'-0"



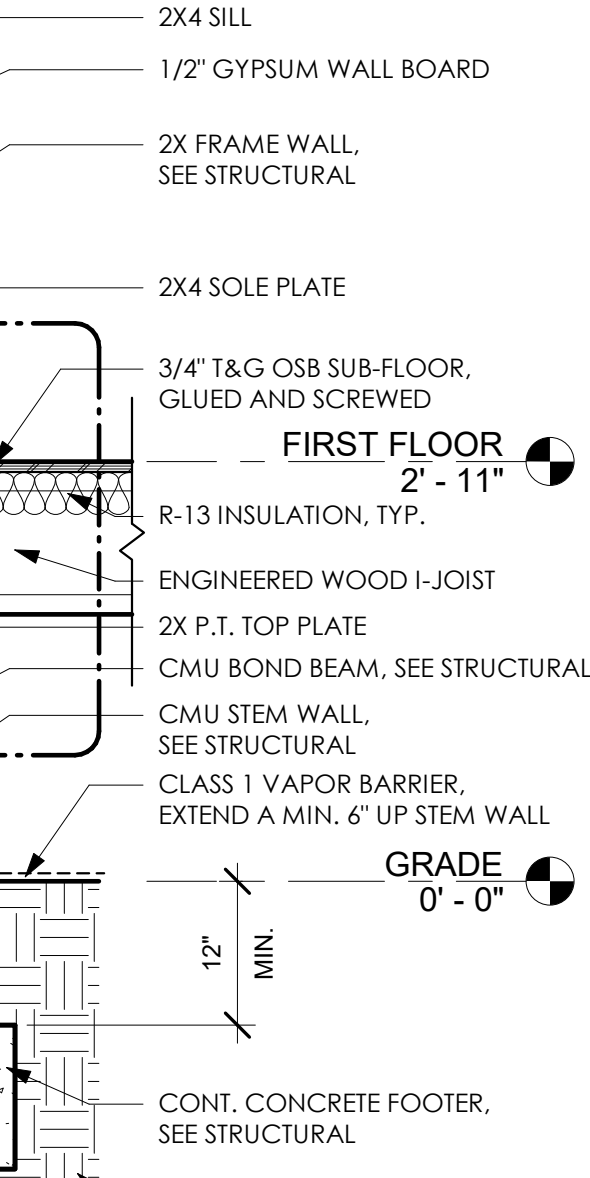
B1 CROSS SECTION
1/4" = 1'-0"



B3 WINDOW SILL DETAIL
1 1/2" = 1'-0"



A1 LONGITUDINAL SECTION
1/4" = 1'-0"



A5 WALL BASE DETAIL
1 1/2" = 1'-0"

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SHEET TITLE:

SECTIONS & DETAILS

REVISIONS:

DATE ISSUED: 02/04/2021
PROJECT NO.: A20.0002

DRAWING NUMBER:

A-301

SHEET: 12 OF 15

ALEXANDER B. SMITH
ARCHITECT
AIA/BDP/AYTY



Photo 1:



Photo 2:



Photo 3:



Photo 4:



Photo 5:



Photo 6:



Photo 7:



Photo 8:



Photo 9:



Photo 10:



Photo 11:



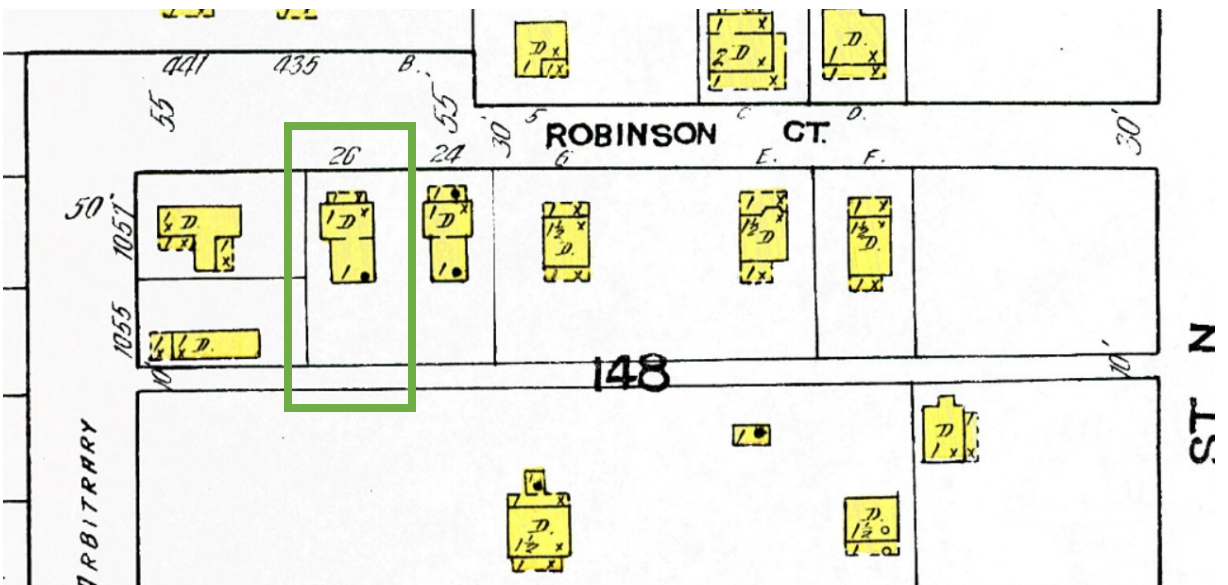
Photo 12:



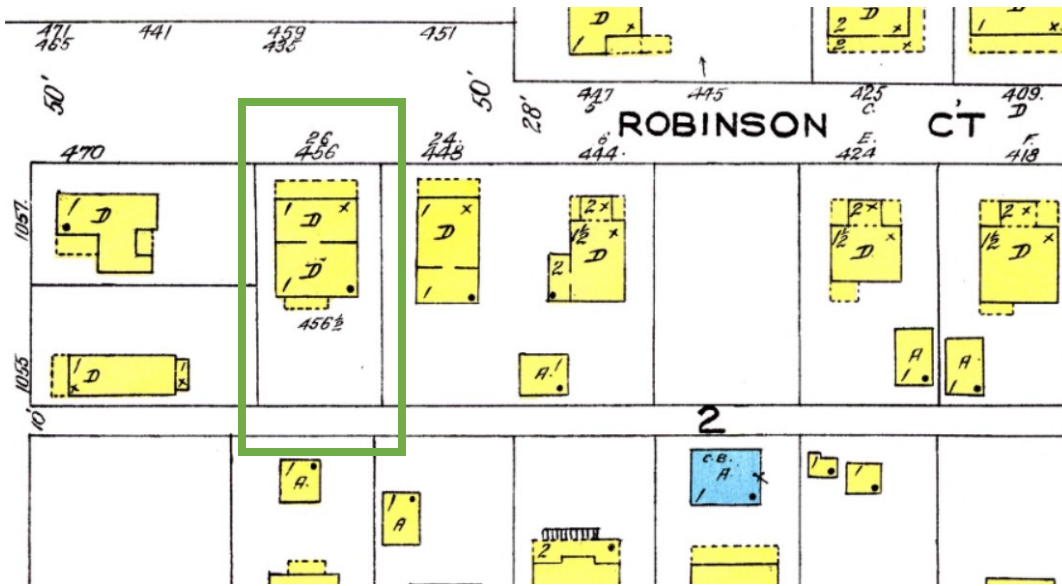
Photo 13:



Photo 14:



1918 Sanborn:



1923 Sanborn:

American Custom Builders & Roofing, LLC.

15820 Redington Dr. ▪ Redington Beach, Florida 33708

Phone # (727) 480-0708 Fax # (352) 275-5754

State Certified License # CCC1327520 & CGC1513060

Duplex Proposal

Submitted To:
Maria Herrera
458Joyce Terrace. N.
St. Petersburg, FL 33701

Date: October 8, 2020
Job Address: Same
Telephone: 727-623-5312

American Custom Builders & Roofing hereby submits specifications & estimates for the following work:

.....

Proposal is for the reconstruction of the residential duplex based on plans dated 8-24-20. Scope of the work includes the following listed below:

- \$25,000 **General Contractor fee:** for project includes pull permit, meet with Building Dept., inspectors, coordinating subcontractors, etc.
- \$975 **Site work preparation:** Estimated budget of \$975 for site work preparation: pre-slab pest treatment, job site toilet, etc.
Please Note: *Overages above the estimated budget will be billed as extra*
- \$16,500 **Demo:** Demo front porch knee walls, rear addition and the existing detached garage as per plans.
- \$68,700 **Framing Carpentry:** *Labor & materials to frame Duplex per plans*
Install 2x12 Floor joists as per plans
Install ¾” Advantech plywood at floor, glued and scribed
Frame 2x bearing wood walls as per plans
Prep and Set roof trusses as per plans.
Install 2x8 sub-fascia and 1x drip
Sheet roof with 5/8” CDX and nail as per code
Install 2x6 sub fascia, with 1x8 Hardie fascia and 1x Hardie drip edge
Frame interior non-bearing wood walls as per plans
Install pocket door frames as per plans
Install all clips, straps, hangers, hold downs and tie downs as per plans
- \$5,850 **Finish Carpentry:**
Install customer supplied: all interior doors, hardware and closet doors.
Install (4) customer supplied bathroom vanities
Install (2) customer supplied attic pull down stairs and trim attic access
Install 6” baseboard (no base in bathrooms)
Please Note: *Customer to supply all bath vanities, interior doors, door hardware and attic pull down stairs. Price doesn’t include crown molding.*

- \$4,500 **Materials:** Estimated budget of \$4,500 for construction materials.
Please Note: *Overages above the estimated budget will be billed as extra.*
- \$11,450 **Window Budget:** Estimated price for twenty-four (24) vinyl single hung impact windows and \$50 delivery fee.
Please Note: *estimated price is based on attached ABC Supply quote. Any changes or overages will be billed as extra.*
- \$6,200 **Window & Exterior Door Labor:**
Install twenty-four (24) vinyl single hung impact windows
Install two (2) customer supplied exterior Front doors per plans
Please Note: *Customer to supply exterior doors, door hardware.*
- \$4,400 **Kitchen Cabinetry Labor:** Install owner supplied cabinets & hardware.
Please Note: *Customer to supply all kitchen cabinets and hardware. Cabinet decorative molding is not included & will be billed as extra. Countertops are not included in this proposal & will be done by others.*
- \$6,890 **Roof:** Dry in/secondary water barrier Rhino peel & stick.
Install Owens Corning Duration 50-year shingles. (130 MPH)
Install 6-inch drip edge (2-1/2" face) & 44 ft. of Owens Corning Vent Sure
- \$12,800 **Masonry work:** Estimated budget of \$12,800 for masonry work per plans.
Please Note: *Overages above the estimated budget will be billed as extra.*
- \$3,425 **Insulation:** Insulate ceiling with R-38 Batts Install R-19 Batts on exterior walls and party wall between units. Proper venting, poly/fire caulk.
- \$15,993 **Mechanical:** Install two new 2-ton straight cool systems with 7.5 kw heaters. Condensers on new pads with a tie down kits. All new ductwork with boots and grills. New copper, drains, and thermostats. Two new drier vents and four owner supplied bath exhaust fans. Exhaust ductwork for two kitchen range hoods supplied by owner.
- \$15,427 **Drywall:** Install 1/2" drywall on walls & ceilings, 1/2" cement board around shower and tub areas to ceiling. Install one layer of 5/8" fire-rated drywall on each side of party wall to roof deck. All bead to be 90-degree square. Knockdown finish on ceilings and orange peel on walls.
- \$5,600 **Gas work:** Estimated budget of \$5,600 for on demand water heaters, etc.
Please note: *Overages above the estimated budget will be billed as extra.*
- \$5,500 **Laminate Flooring Labor:** Install customer supplied laminate flooring.
Please note: *Customer to supply all flooring & installation materials*

\$23,280

Electric: Wire per plans dated 8/24/19

Front porch:

2 - Fan / light combo, 2 - GFCI weatherproof receptacle
4 - Motion /flood lights (*front and back corners of duplex*)

Living Rooms:

12 – Receptacles, 4 - Single pole switches, 2 - Fan/light combo

Kitchens:

16 - Recess cans, 4 - Pendants Lights
8 - Receptacle counter height GFCI arc fault Protected
2 - Range, 2 refrigerator circuits, 2 dishwasher circuits all GFCI protected
2 - Disposal circuits all GFCI protected

Hallways:

6 - Recess cans, 4 - Receptacles, 4 - 3/way switches

Bedrooms #1:

2 - Single pole switches, 8 – Receptacles, 2 - Fan /light combination

Guest Bathrooms:

4 - Single pole switches, 2 - Exhaust fans, duct by others
2 – Lights, 2 - GFCI receptacle circuits

Master Bedrooms:

10 - Receptacles, 4 - Single pole switches
2 - Fan/light combinations, 2 - Closet lights

Master Bathrooms:

2 - GFCI receptacle circuits, 4 - Lights
2 - Exhaust fans, duct by others, 4 - Single pole switches

Wiring for Other Items:

2 - AC compressors circuits, 2 - Heat strips circuits
2 - Washers circuits, 2 - Dryer circuits
6 - Smoke detectors, 2 - Carbon monoxide detectors
2 - GFCI receptacles for gas tankless water heaters
2 -Weatherproof 125-amp panels 24 circuits
1 - 2 Gang meter can overhead service.

Please Note: *Customer to supply all Light fixtures.*

\$12,560

Tile Work: Install customer supplied tile in four bathrooms.
Install owner supplied backsplash tile in new kitchens.

Please Note: *customer to provide: all tile and grout.*

- \$35,800 **Plumbing:** *Plumbing per plans dated 8/24/19*
 Install water, drain and sewer lines as per plans.
 Provide and install (2) shower pans with pre-slope.
 Run (2) water lines to owner's refrigerator ice makers.
 Provide and install (2) new recessed washer box for laundry.
 Install owner provided: (4) toilets and (4) bath sinks and faucets
 Install owner provided: (2) kitchen sinks, faucets and (2) disposals.
 Hook water to owner's refrigerator ice makers.
 Provide all shut off valves (chrome), and supply lines & other small parts.
 Run water to on demand water heater (provided and installed by others).
- Please note:**
*Customer to supply all Plumbing fixtures, valves, sinks and faucets.
 Owner supplied material or fixtures is not warranted.
 Hook up to city water meter is not included and cost will be determined by
 the city's meter install location and length of lines needed.*
- \$1,980 **Soffit and Fascia:** Trim fascia with aluminum trim and install vinyl soffit.
- \$13,250 **Exterior Siding:** Supply and Install House wrap, peel and stick around
 windows, board and batten siding and trim. Install trim around front porch
 posts and beams.
- \$10,800 **Interior Paint:** *Owner to choose paint colors*
 Prime new drywall ceilings and walls with S.W. primer.
 Paint walls with two coats of Pro-Mar 200 paint
 Paint ceilings with two coats of S.W. Eminence paint.
 Caulk base and casings as needed.
 Paint baseboards, doors & casings with two coats of S.W. Pro-Mar 200
- \$11,500 **Exterior Paint:** *Owner to choose paint colors*
 Paint exterior walls with two coats of S.W. Super Paint.
 Caulk fascia, soffit and siding as needed.
 Paint fascia and soffit with two coats of S/W/ Super Paint.
 Paint porch ceiling with two coats of S.W. Super Paint.
- TBD **Cable:** Cable and Network wiring costs are yet to be determined and will
 be billed as extra.
- TBD **Parking Pads and Walkways:** cost is yet to be determined and will be
 billed as extra.
- TBD **Electric, Gas and Water Meters & Hook-ups:** costs are yet to be
 determined and will be billed as extra.

Please Note:

Customer is to provide a survey, if needed and architectural drawings for permitting.

Any unforeseen costs, overages or changes will be billed as extras.

Any additional materials due to wood rot that becomes necessary to complete the job will be billed in addition to the proposal price and will be based on the cost of material and labor. Labor for woodwork is an additional \$65 per hour per man.

Permits and other related fees will be paid directly by customer or billed as an extra.

Dumping fees vary by weight & will be billed as extra.

Construction Materials has an estimated budget of \$4,500. Overages billed as extra.

Windows has an estimated budget of \$11,450. Overages billed as extra.

Site work prep has an estimated budget of \$975. Overages will be billed as extra.

Gas work has an estimated budget of \$5,600. Overages will be billed as extra.

Cable, parking pads & exterior walkways, electric, gas and water meters cost are yet to be determined & will be billed as extra.

Not Included in Proposal:

Customer to supply: all electrical fixtures, plumbing fixtures, faucets, valves, sinks, exhaust fans, garbage disposals, range hoods, Kitchen cabinetry, bath vanities, cabinet hardware, laminate flooring, floor underlayment, laminate floor thresholds, laminate floor molding, all tile and grout, all doors, door hardware and (2) pull-down attic stairs. Any items purchased not provided by customer will be billed as extra.

Customer to supply all appliances. Appliances to be installed by appliance providers.

Countertops are the responsibility of the owner and not included in this proposal.

Glass shower doors are the responsibility of the owner and not included in this proposal.

Closet shelving, organizers, bath accessories, decorative crown molding and window treatments are not included in this proposal and will be billed as extra if requested.

Rain Gutters are not included in proposal. Customer is responsible for rain gutters.

Landscaping is not included in proposal. Customer is responsible for all landscaping. Contractor will not be held liable for any damage to landscaping, lawn or sidewalks.

Construction area will be picked up and broom swept upon completion. Cleaning is not in the scope of work but may be requested and will be billed as an extra.

Proposal is based on preliminary meetings and unstamped plans dated 8-24-20. Prices may change when final stamped plans are provided.

Proposal is good for 30 days. Materials are based on current prices and may increase.

Tentative Pay Schedule: *(In-progress draws may be invoiced)*

\$2,500	Due on signing (Start-up)
\$11,450	Due upon ordering windows
\$975	Due upon start of site work preparation
\$16,500	Due on completion of demo work
\$12,800	Due upon completion of masonry work
\$2,500	Contractor fee for job progress draw at completion of masonry
\$68,700	Due upon completion framing & setting trusses
\$2,500	Contractor fee for job progress draw at completion of truss installation.
\$6,890	Due upon completion of roof.
\$6,200	Due upon installation of (24) windows and (2) exterior doors
\$15,993	Due upon completion of Mechanical work.
\$5,600	Due upon installation of gas work.
\$35,448	Due upon start of rough-in phase of Electric & Plumbing work
\$2,500	Contractor fee due upon completion of Electrical & plumbing rough-in
\$3,425	Due upon completion of insulation
\$15,427	Due upon completion of drywall
\$2,500	Contractor fee for job progress draw at completion of drywall
\$11,360	Due upon completion of bathroom tile work.
\$5,500	Due upon completion of laminate floor install
\$2,500	Contractor fee for job progress draw at completion of floor install
\$4,400	Due upon completion of kitchen cabinet install
\$2,500	Contractor fee due upon completion of kitchen cabinet install
\$13,250	Due upon completion of exterior siding work
\$2,500	Contractor fee for job progress draw at completion of siding work
\$1,200	Due upon completion of kitchen backsplash tile work.
\$1,980	Due upon completion of soffit and fascia work
\$11,500	Due upon completion of exterior paint work
\$5,850	Due upon completion of interior finish carpentry work
\$2,500	Contractor fee due upon completion of interior carpentry work
\$10,800	Due upon completion of interior paint work
\$23,632	Due upon trim out of electrical and plumbing work

Remaining balance due on final building permit inspection approval.

American Custom Builders & Roofing, LLC. Proposes to furnish labor and materials-complete in accordance with the above specifications, for the sum of:

**Three Hundred Eighteen Thousand Three Hundred and Eighty Dollars
(\$318,380.00)**

With payment to be made net upon job completion.

Frederick J. Dion: Authorized Representative

Date

ACCEPTANCE OF PROPOSAL

With my signature below, I agree that *American Custom Builders & Roofing, LLC.* is hereby authorized to proceed with the job as described above. In addition, *I agree to remit payment in full upon completion* unless other arrangements are made.

Customer Signature

Date

STATUTORY ADDENDUM:

1. LIEN LAW: ACCORDING TO FLORIDA'S CONSTRUCTION LIEN LAW (SECTIONS 713.001–713.37, FLORIDA STATUTES), THOSE WHO WORK ON YOUR PROPERTY OR PROVIDE MATERIALS AND SERVICES AND ARE NOT PAID IN FULL HAVE A RIGHT TO ENFORCE THEIR CLAIM FOR PAYMENT AGAINST YOUR PROPERTY. THIS CLAIM IS KNOWN AS A CONSTRUCTION LIEN. IF YOUR CONTRACTOR OR A SUBCONTRACTOR FAILS TO PAY SUBCONTRACTORS, SUB-SUBCONTRACTORS, OR MATERIAL SUPPLIERS, THOSE PEOPLE WHO ARE OWED MONEY MAY LOOK TO YOUR PROPERTY FOR PAYMENT, EVEN IF YOU HAVE ALREADY PAID YOUR CONTRACTOR IN FULL. IF YOU FAIL TO PAY YOUR CONTRACTOR, YOUR CONTRACTOR MAY ALSO HAVE A LIEN ON YOUR PROPERTY. THIS MEANS IF A LIEN IS FILED YOUR PROPERTY COULD BE SOLD AGAINST YOUR WILL TO PAY FOR LABOR, MATERIALS, OR OTHER SERVICES THAT YOUR CONTRACTOR OR A SUBCONTRACTOR MAY HAVE FAILED TO PAY. TO PROTECT YOURSELF, YOU SHOULD STIPULATE IN THIS CONTRACT THAT BEFORE ANY PAYMENT IS MADE, YOUR CONTRACTOR IS REQUIRED TO PROVIDE YOU WITH A WRITTEN RELEASE OF LIEN FROM ANY PERSON OR COMPANY THAT HAS PROVIDED TO YOU A "NOTICE TO OWNER." FLORIDA'S CONSTRUCTION LIEN LAW IS COMPLEX, AND IT IS RECOMMENDED THAT YOU CONSULT AN ATTORNEY.


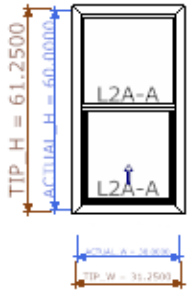
2. Florida Homeowners' Construction Recovery Fund: payment may be available from the Florida Homeowners' Construction Recovery Fund if you lose money on a project performed under contract, where the loss results from specified violations of Florida law by a state-licensed contractor. For information about the recovery fund and filing a claim, contact the Florida construction industry licensing board at the following telephone number and address:

Construction Industry Licensing Board
1940 N. Monroe street
Tallahassee, Florida 32399-0784
Telephone: 850.487.1395
E-Mail: call.center@dbpr.state.fl.us (please include "construction" in the subject line)


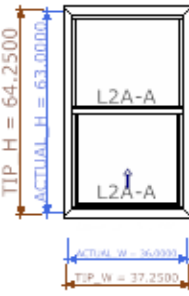
6944 US HWY 41, APOLLO BEACH, FL 33572
 Ph: 813 261-6610 Fax: 866 350-9855

ABC SUPPLY #492 - PINELLAS PARK


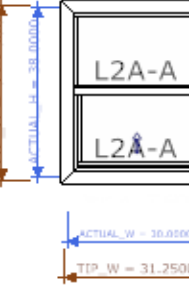
Bill To:	Ship To:	Route: StPet
ABC SUPPLY #492 - PINELLAS PARK 6944 US HWY 41 APOLLO BEACH, FL 33572	Ameican Cust Bldrs 6520 35TH STREET NORTH PINELLAS PARK, FL 33781	
Version 1		Job Name: American Cust Bldrs - Duplex

<p>Item No. 1 Qty: 8 Price \$459.85 Total \$3,678.80</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [FIN ONLY], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, FIN ONLY ROLL FORMED Half Screen SCREEN AAMA Std. Gold Labeling WHITE, FPA #17791.1 DOES NOT MEET EGRESS, ID: Bedroom</p>	<p>Dimensions</p> <p>TIP: 31 1/4 x 61 1/4 ACTUAL: 30 x 60 SCREEN: 18 X 16</p> 	
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6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

<p>Item No. 2 Qty: 2 Price \$541.18 Total \$1,082.36</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, --EW: 31.93-- --EH: 25.89-- --ESF: 5.74-- [FIN ONLY], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, FIN ONLY ROLL FORMED Half Screen SCREEN AAMA Std. Gold Labeling WHITE, FPA #17791.1 Clr. Opng. MEETS EGRESS , ID: S Wall Bedroom</p>	<p>Dimensions</p> <p>TIP: 37 1/4 x 64 1/4 ACTUAL: 36 x 63 SCREEN: 18 X 16</p> 	
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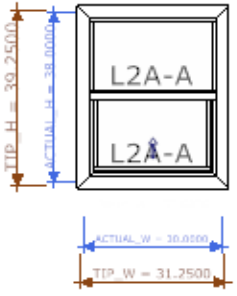
6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

<p>Item No. 3 Qty: 4 Price \$352.71 Total \$1,410.84</p> <p>Model: 6100-SH Color: WHITE</p> <p>Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [FIN ONLY], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, FIN ONLY ROLL FORMED Half Screen SCREEN AAMA Std. Gold Labeling WHITE, FPA #17791.1 DOES NOT MEET EGRESS, ID: Kitchen</p>	<p>Dimensions</p> <p>TIP: 31 1/4 x 39 1/4 ACTUAL: 30 x 38 SCREEN: 18 X 16</p> 	
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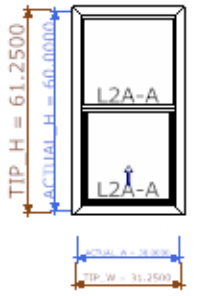
6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

ABC SUPPLY #492 - PINELLAS PARK


Bill To:	Ship To:	Route: StPet
ABC SUPPLY #492 - PINELLAS PARK 6944 US HWY 41 APOLLO BEACH, FL 33572	Ameican Cust Bldrs 6520 35TH STREET NORTH PINELLAS PARK, FL 33781	
Version 1		Job Name: American Cust Bldrs - Duplex

Item No. 4	Qty: 2	Price \$401.97	Total \$803.94
Model: 6100-SH Color: WHITE			
Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [FIN ONLY], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366 / OBSCURE, Insulated, FIN ONLY ROLL FORMED Half Screen SCREEN AAMA Std. Gold Labeling FPA #17791.1, WHITE DOES NOT MEET EGRESS, ID: Bath			
			<p>Dimensions</p> <p>TIP: 31 1/4 x 39 1/4 ACTUAL: 30 x 38 SCREEN: 18 X 16</p> 
			

6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

Item No. 5	Qty: 8	Price \$459.85	Total \$3,678.80
Model: 6100-SH Color: WHITE			
Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [FIN ONLY], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, FIN ONLY ROLL FORMED Half Screen SCREEN AAMA Std. Gold Labeling WHITE, FPA #17791.1 DOES NOT MEET EGRESS, ID: Living Room			
			<p>Dimensions</p> <p>TIP: 31 1/4 x 61 1/4 ACTUAL: 30 x 60 SCREEN: 18 X 16</p> 
			

6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

Item No. 6	Qty: 1	Price \$0.00	Total \$0.00
Desc: Surcharge, ,			
			<p>Dimensions</p> 



6944 US HWY 41, APOLLO BEACH, FL 33572
Ph: 813 261-6610 Fax: 866 350-9855

Quotation

Quote #: 1933434/1

ABC SUPPLY #492 - PINELLAS PARK

Bill To:

Ship To:

Route: StPet

ABC SUPPLY #492 - PINELLAS PARK
6944 US HWY 41
APOLLO BEACH, FL 33572

Ameican Cust Bldrs
6520 35TH STREET NORTH
PINELLAS PARK, FL 33781

Version 1

Job Name: American Cust Bldrs - Duplex

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Disclaimers: PLEASE REVIEW FOR PRICING AND ITEM ACCURACY.
 This quotation is valid for 30 days. Pricing and availability are based on sizes and quantities listed on this quote. Changes in sizing and/or quantities may result in units having to be re-quoted and/or reviewed. Please verify all sizes, quantities and specifications prior to placing an order. Quote is subject to changes and corrections until it is signed and placed as an order. Mullions between units may indicate a need for additional structural support to be determined by the contractor or architect. Additional support should be taken into account when calculating rough openings. CWS, Inc. does not recommend direct mulling above patio doors without additional support. *Thank you.*

Subtotal:	10,654.74
Tax:	745.83
Total:	11,400.57

Appendix B:

Maps of Subject Property



Round Lake National Register Historic District

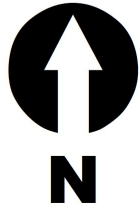
Community Planning and Preservation Commission

458 Joyce Terrace N

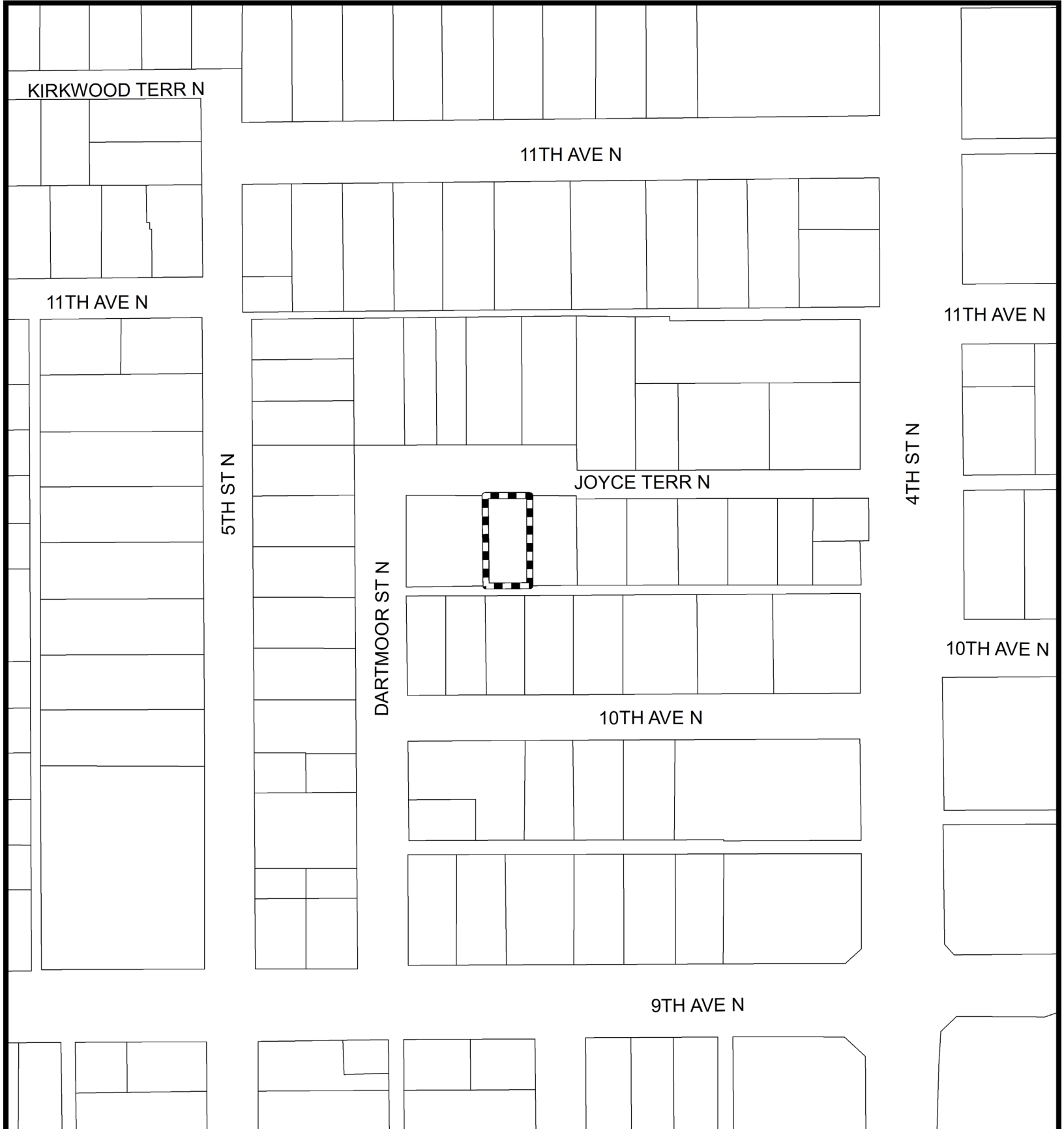
**AREA TO BE APPROVED,
SHOWN IN**



**CASE NUMBER
21-90400002**



SCALE:
1" = 140'



Community Planning and Preservation Commission

458 Joyce Terrace N

AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

21-90400002



SCALE:
1" = 140'